

German town
Park

City of Gluckstadt

Application for Site Plan Review

Subject Property Address: Corner of Church Rd & Gluckstadt way

Parcel #: 082E - 21 - 016/01.00

Owner: Anthony Morrison

Applicant: Anthony Morrison

Address: 102 Hazelton Cove
Madison MS 39110

Address: 102 Hazelton Cove
Madison MS 39110

Phone #: 601 862 8702

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E-Mail: anthony@morrisonpublishing.com

E-Mail: anthony@morrisonpublishing.com

Current Zoning District: C-2

Acreage of Property (If applicable): 3 ac

Use sought of Property: Retail / office

Requirements of Applicant:

1. Copy of written legal description.
2. Site Plan as required in Sections 807-810 of City of Gluckstadt Zoning Ordinance
3. Color Rendering & Elevations at time of submittal

Requirements for Site Plan Submittal (Refer to Section 807, Gluckstadt Zoning Ordinance)

Nine (9) copies of the site plan shall be prepared and submitted to the Zoning Administrator. Digital copies are acceptable. Three (3) hard copies are required.

Site Plan Specifications (Section 809, Zoning Ordinance)

- A. Lot Lines (property lines)
- B. Zoning of the adjacent lots
- C. The names of owners of adjacent lots
- D. Rights of way existing and proposed streets, including streets shown on the adopted Throughfares plan
- E. Access ways, curb cuts, driveways, and parking, including number of parking spaces to be provided
- F. All existing and proposed easements
- G. All existing and proposed water and sewer lines. Also, the location of all existing and proposed fire hydrants.
- H. Drainage plan showing existing and proposed storm drainage facilities. The drainage plan shall indicate adjacent off site drainage courses and projected storm water flow rates from off-site and on-site sources.

- I. Contours at vertical intervals of five (5) feet or less.
- J. Floodplain designation, according to FEMA Maps.
- K. Landscaped areas and planting screens.
- L. Building lines and the locations of all structures, existing and proposed
- M. Proposed uses of the land and buildings, if known
- N. Open space and recreation areas, where required.
- O. Area in square feet, and/or square acres of parcel
- P. Proposed gross lot coverage in square feet
- Q. Number and type of dwelling units where proposed
- R. Location of sign structures and drawings. (Section 701)
- S. Location of garbage dumpster and enclosure. (Section 406.06)
- T. Any other data necessary to allow for a through evaluation of the proposed use, including a traffic study.

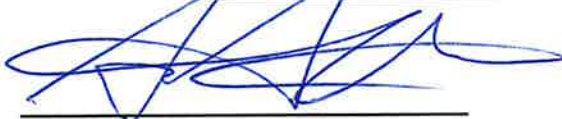
Applicant shall be present at the monthly meeting of the Planning and Zoning Commission when site plan is on the agenda for consideration; additionally, applicant shall be present at the Mayor and Board of Alderman meeting when the site plan is on the agenda for final approval.

Applicant is responsible for complying with all applicable requirements of the Gluckstadt Zoning Ordinance.

Site Plans shall be submitted by the 5:00 pm on the 5th day of the month, immediately preceding the next regular meeting of the Planning and Zoning Commission. No Exceptions.

Once submitted to the Planning & Zoning Administrator for approval to add to the Planning and Zoning Commission's agenda, no amendments or changes shall be made to the site plan. If you wish to submit changes, you will be required to resubmit by the 5th of the following month for the next monthly meeting of the Planning and Zoning Commission.

Attestation: By signing this application, the applicant agrees to all the terms and conditions laid out in this document. Approval of site plan is subject to Board approval.



Applicant Signature

8-5-22

Date

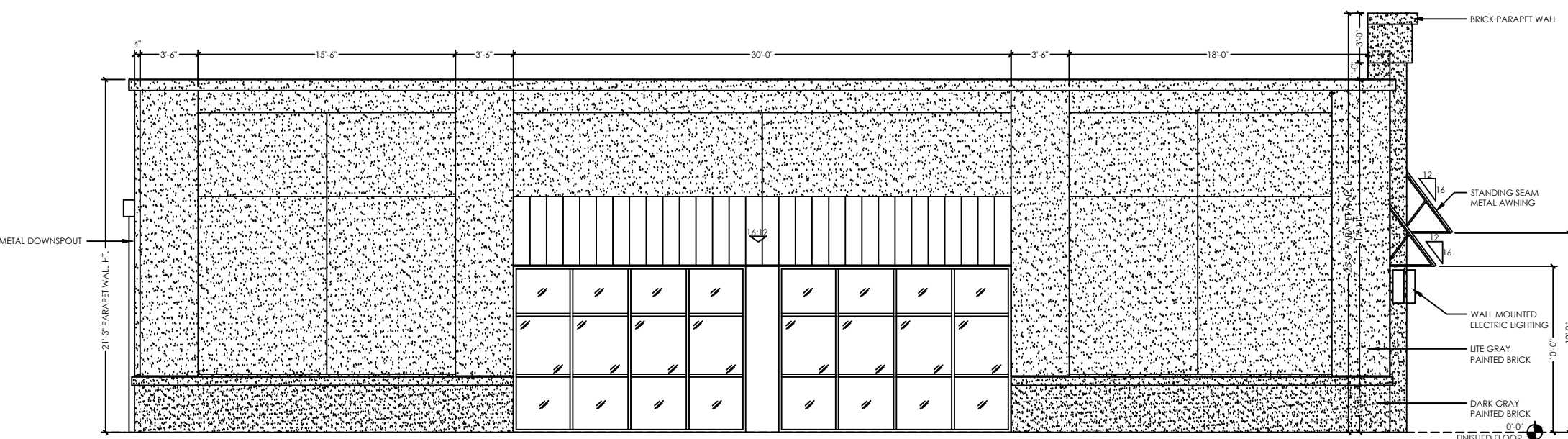
CITY OF GLUCKSTADT BUILDING DEPARTMENT
OFFICE USE ONLY

Date Received: _____

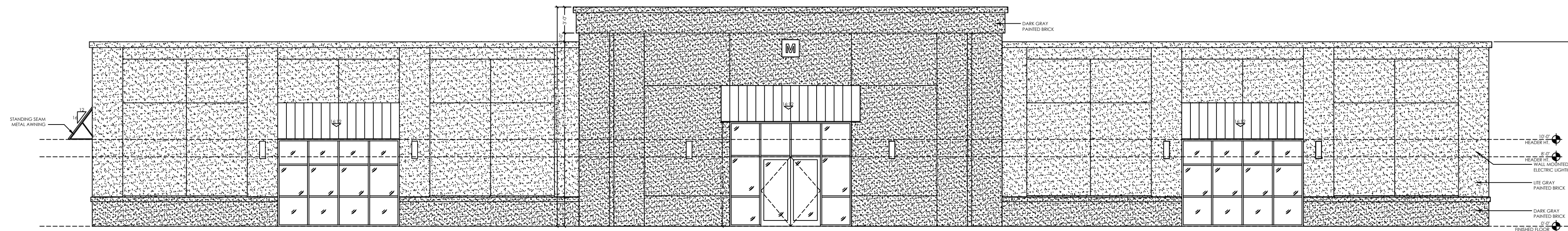
Application Complete & Approved to Submit to P&Z Board (please check):

Yes _____ No _____

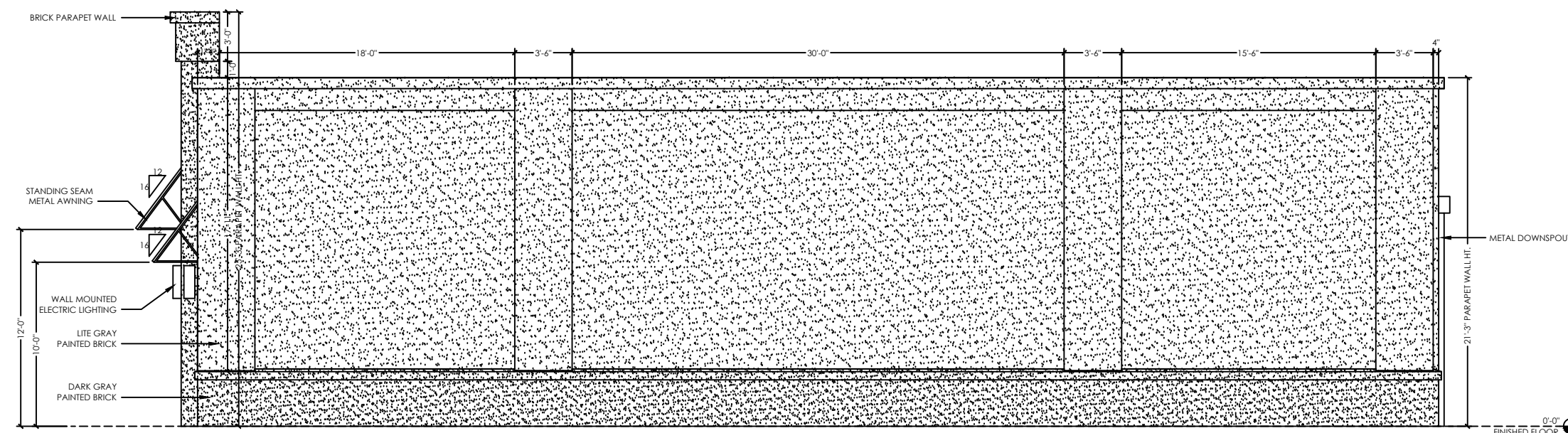
Signature: _____
Planning & Zoning Administrator (or Authorized Representative)



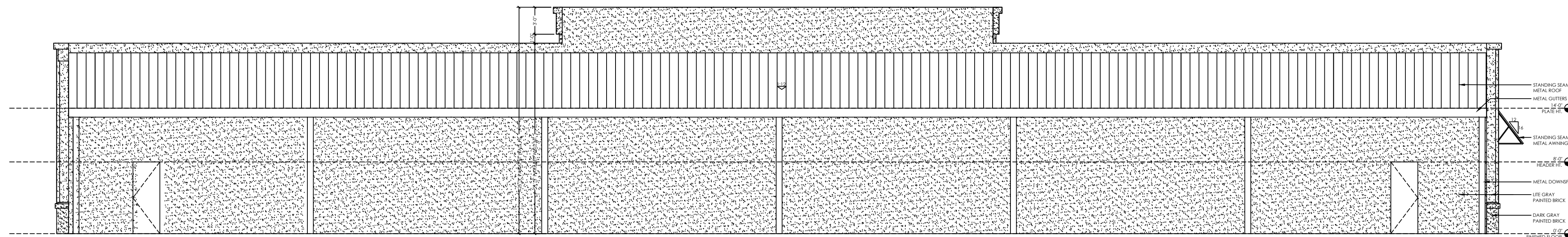
NORTH ELEVATION - BUILDING 01
1/4"=1'-0"



WEST ELEVATION - BUILDING 01
1/4"=1'-0"

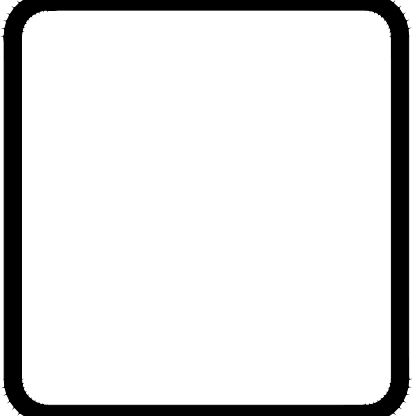


REAR ELEVATION - BUILDING 01
1/4"=1'-0"



EAST ELEVATION - BUILDING 01
1/4"=1'-0"

REVISIONS	BY

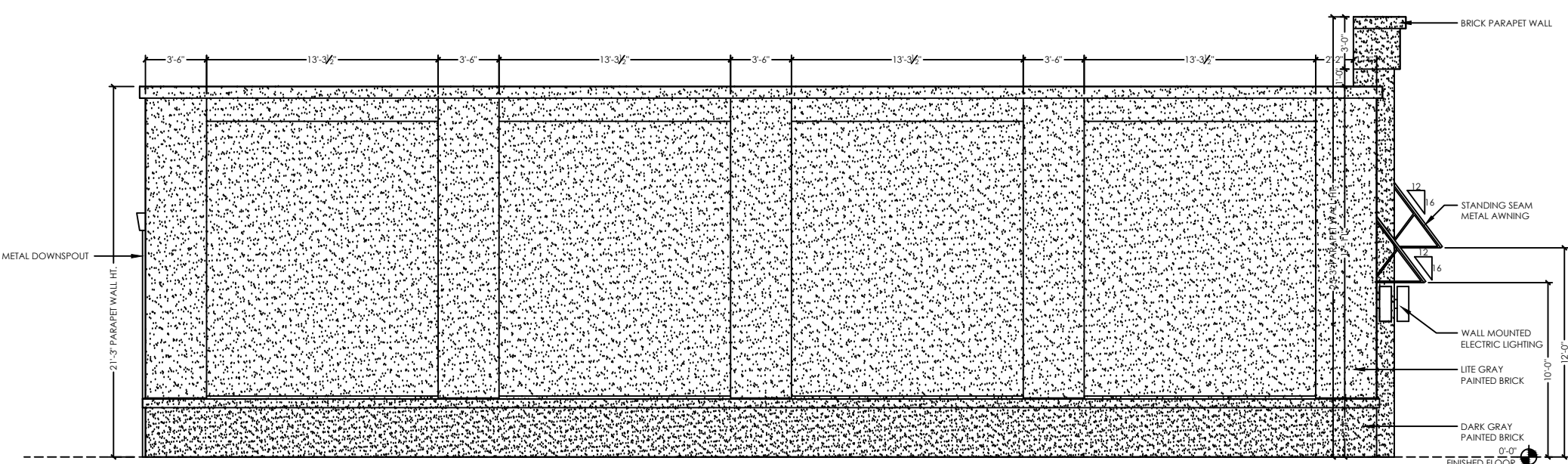


WOOLDRIDGE & ASSOCIATES
484 CHURCH RD. SUITE 700
MADISON, MS 39110
601-209-8665
WOOLDRIDGEARCHITECTURE@YAHOO.COM

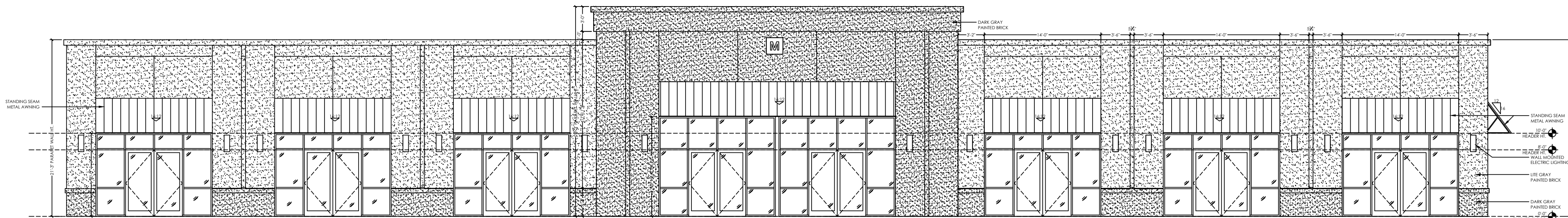
Germantown Park
Church Road
Gluckstadt, Mississippi

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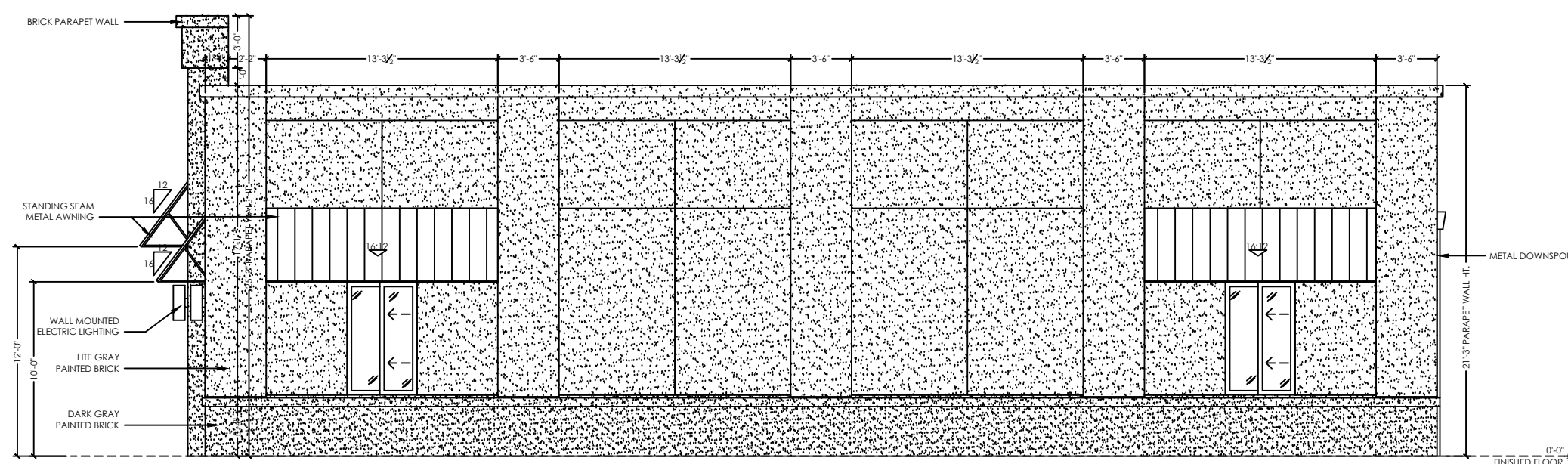
DRAWN
CHECKED
DATE 4/4/22
SCALE
JOB NO.
SHEET
A3.0
OF 51.0



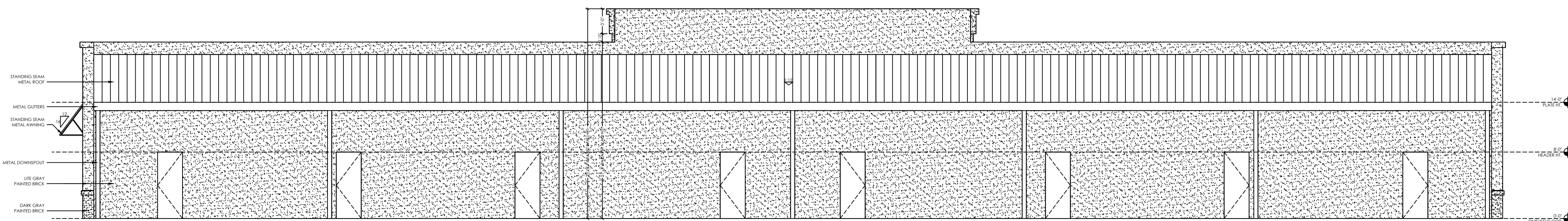
EAST ELEVATION - BUILDING 02
SHEET 1



NORTH ELEVATION - BUILDING 02
SHEET 2

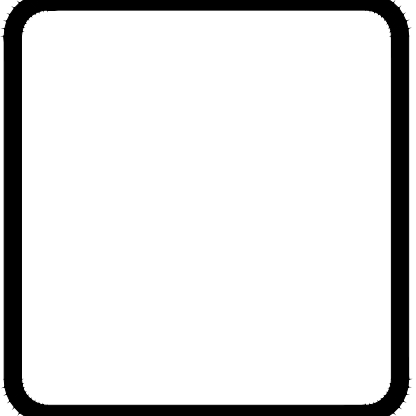


WEST ELEVATION - BUILDING 02
SHEET 3



SOUTH ELEVATION - BUILDING 02
SHEET 4

REVISIONS	BY

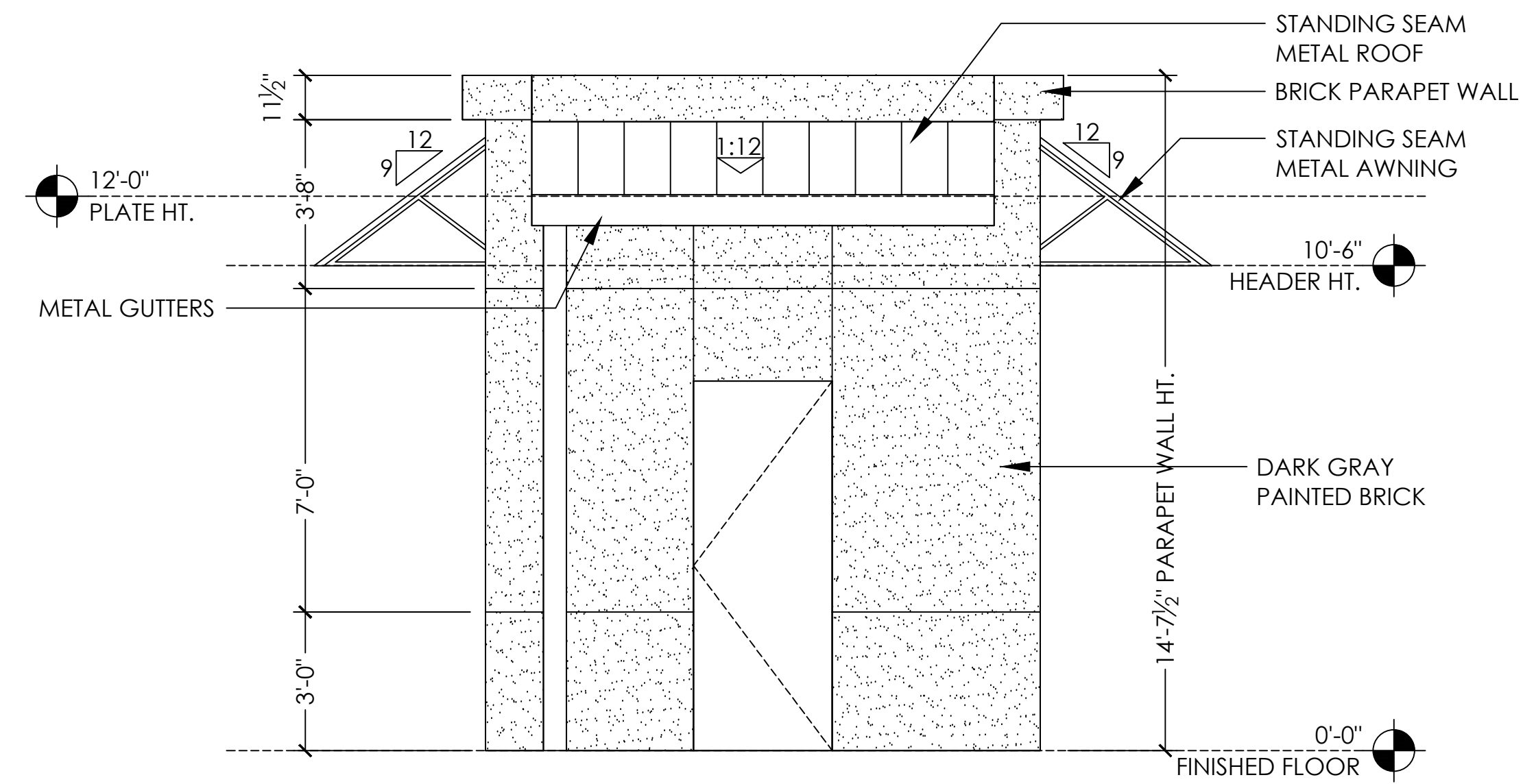


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484 CHURCH RD. SUITE 700
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601-209-8665
WOULDRIEARCHITECTURE@YAHOO.COM

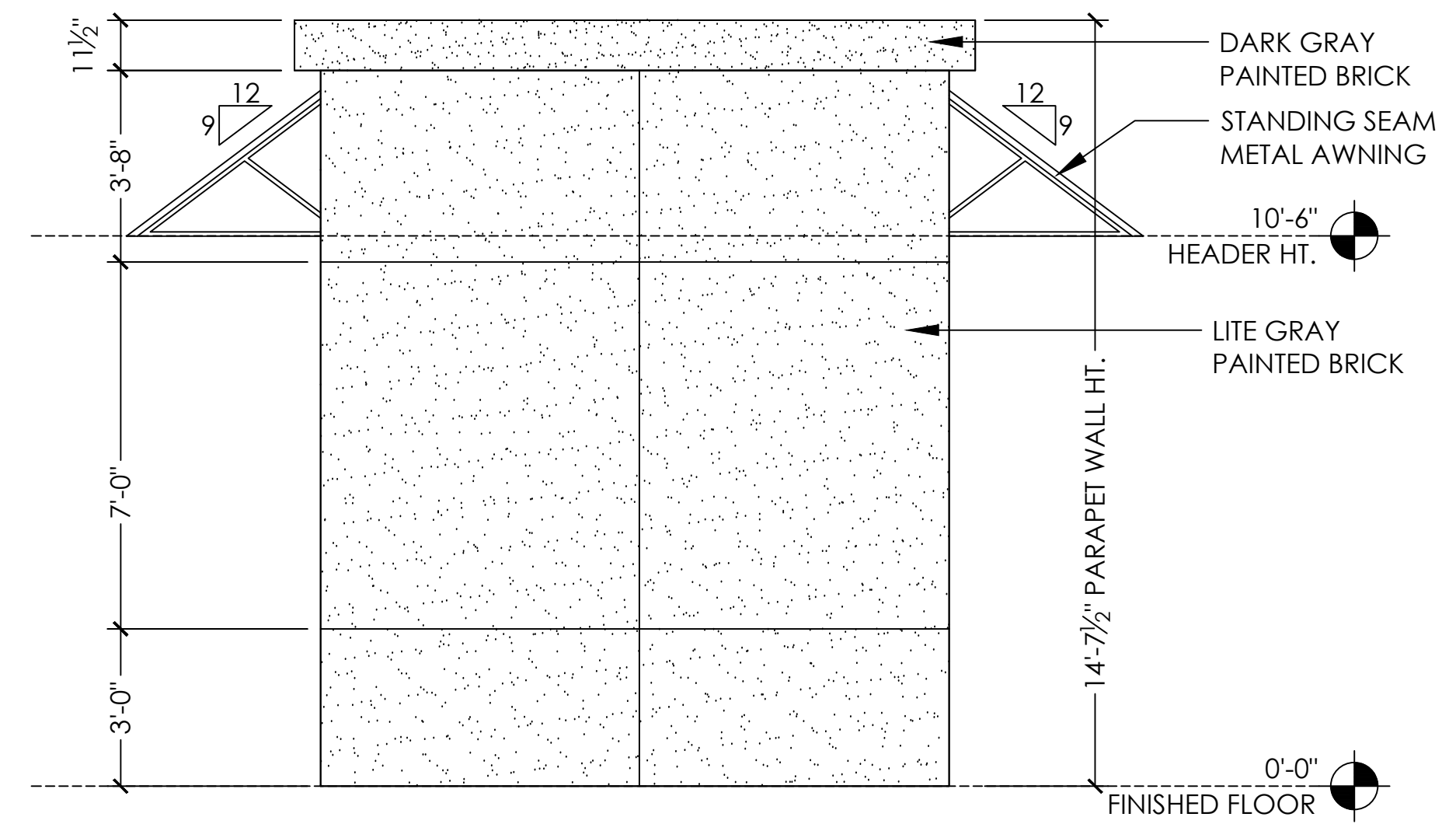
Germantown Park
Church Road
Gluckstadt, Mississippi

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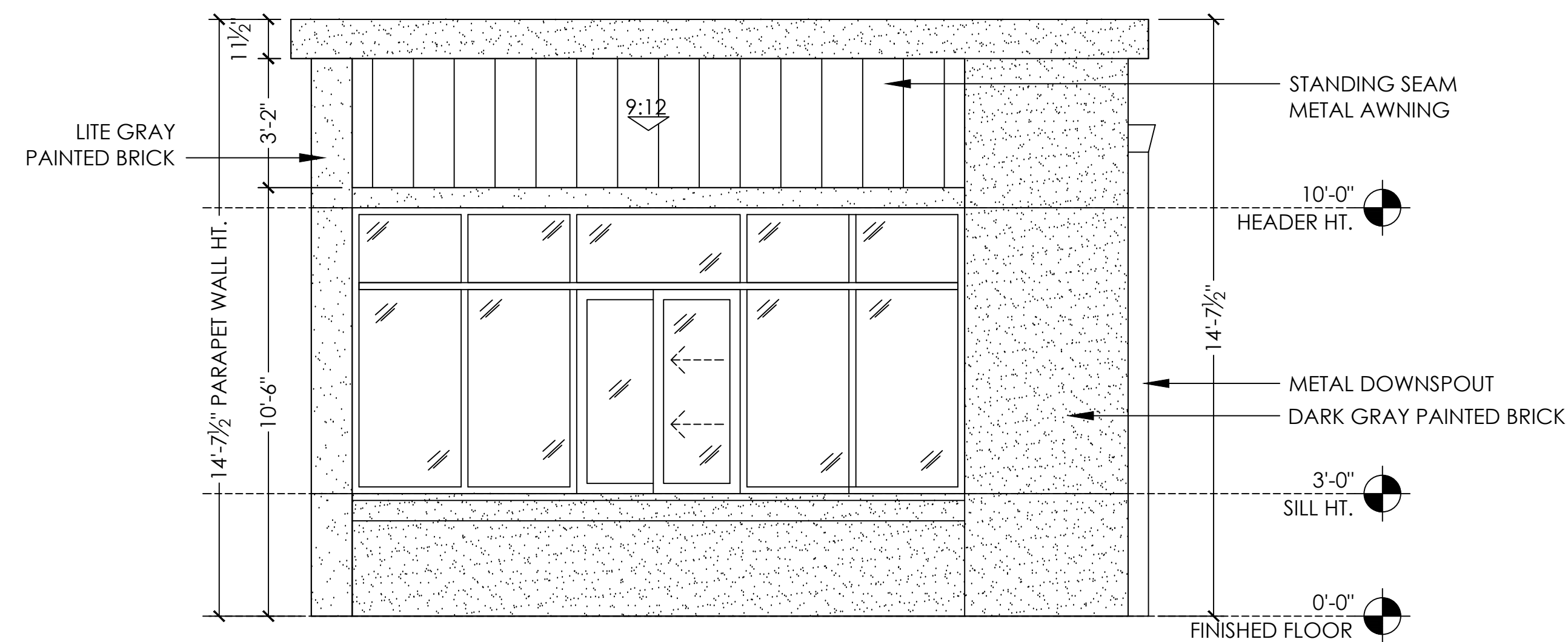
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DATE 4/4/22
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SHEET
A3.1
OF 51.0



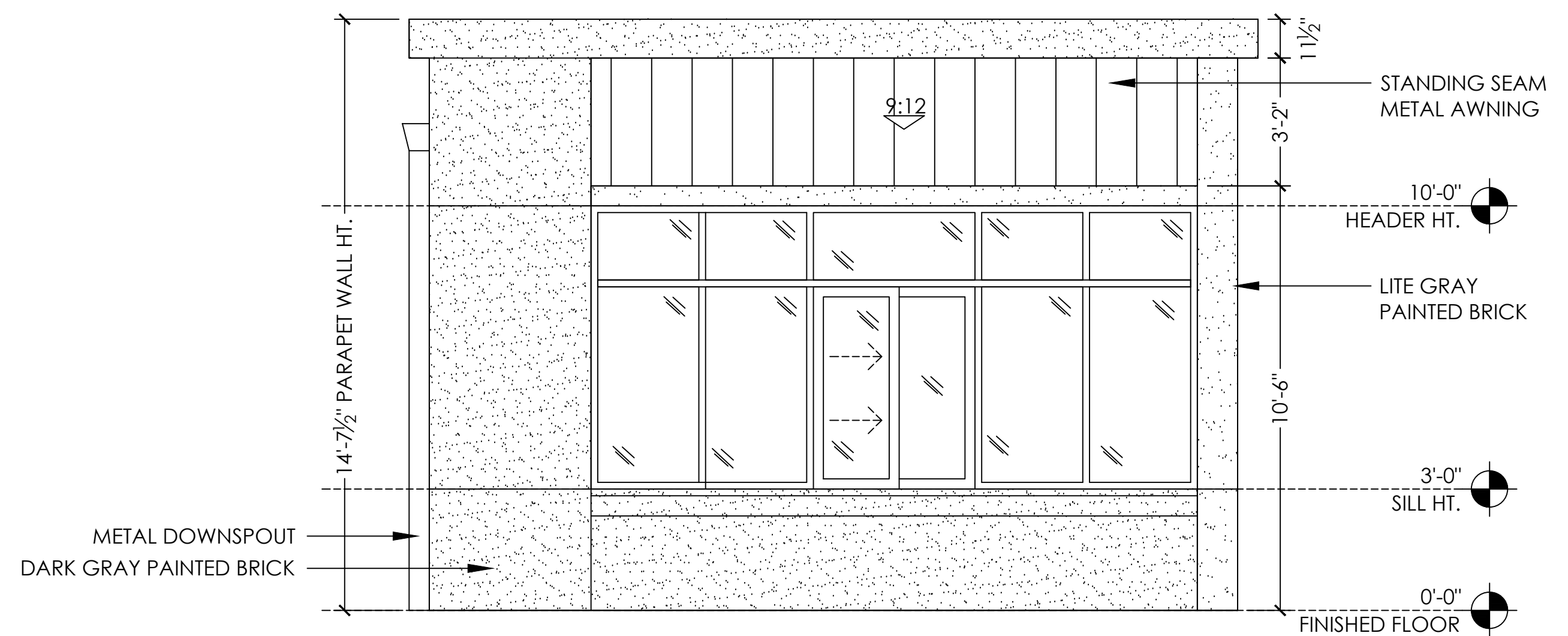
REAR ELEVATION - KIOSK ④
1/4"=1'-0"



FRONT ELEVATION - KIOSK ③
1/4"=1'-0"

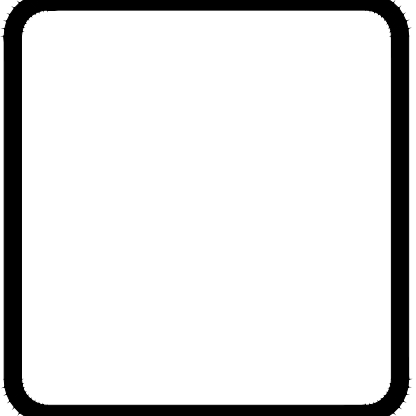


RIGHT ELEVATION - KIOSK ②
1/4"=1'-0"



LEFT ELEVATION - KIOSK ①
1/4"=1'-0"

REVISIONS	BY



W

WOOLDRIDGE & ASSOCIATES
484 CHURCH RD. SUITE 700
MADISON, MS 39110
601-209-8665
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Germantown Park
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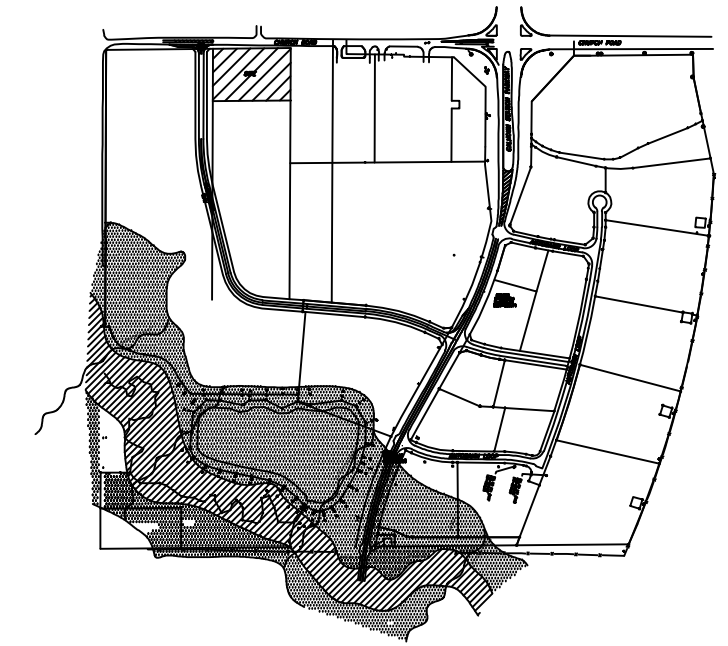
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CHECKED
DATE 4/4/22
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JOB NO.
SHEET

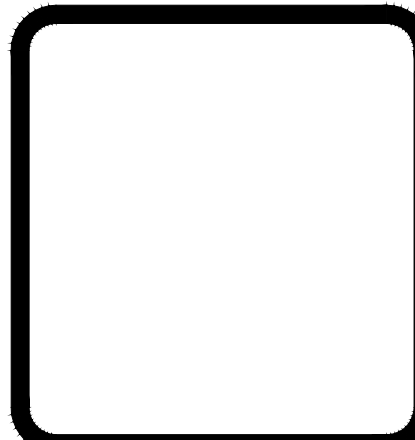
A3.2

OF 51.0

REVISIONS	BY



1 A1.0 VICINITY MAP
SCALE: 1"=1,000'-0"



WOOLDRIDGE & ASSOCIATES
404 CHURCH RD. SUITE 700
MADISON, MS 39110
601-209-8666
WOOLDRIDGEARCHITECTUREWIA800.COM

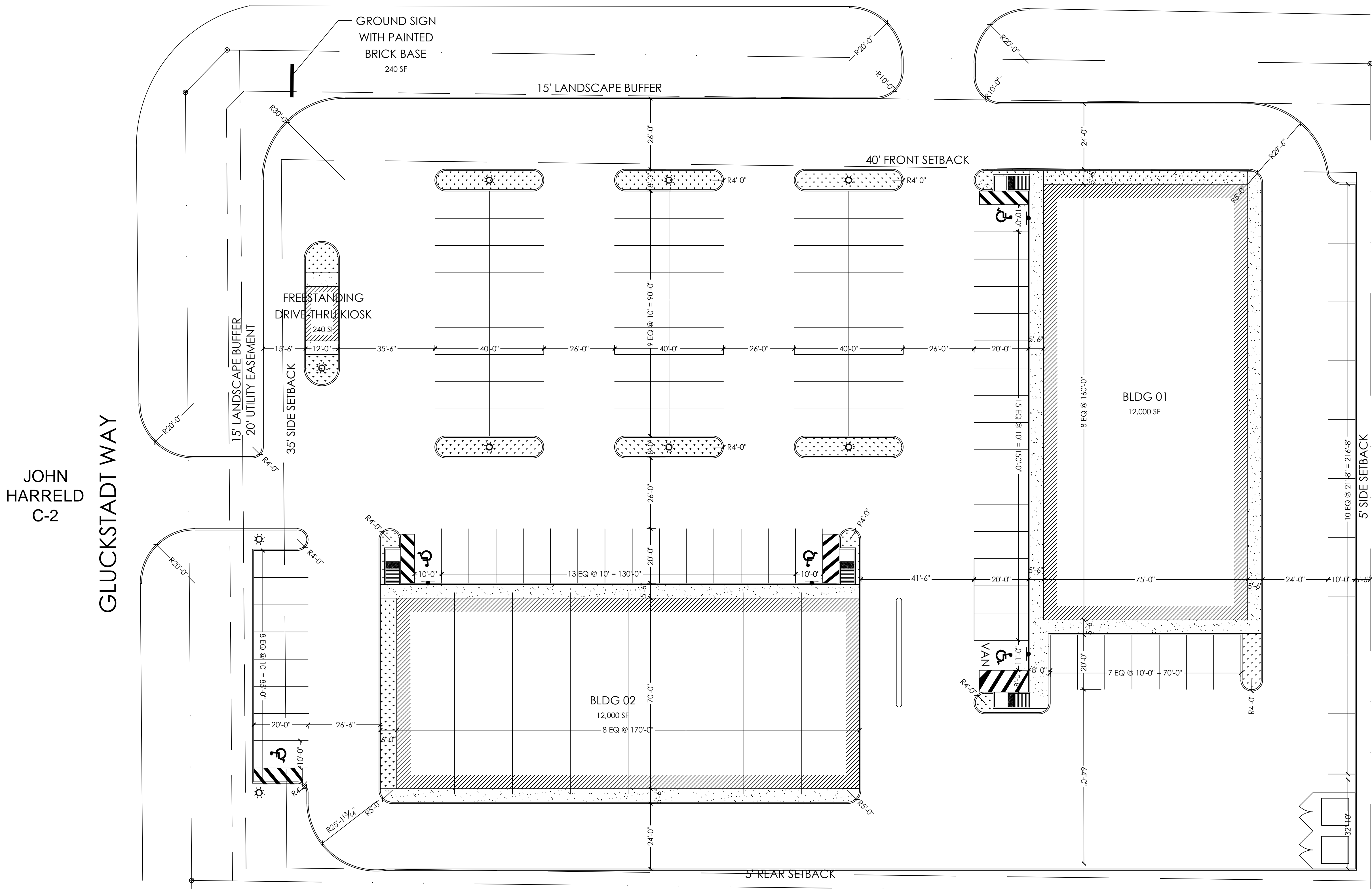
Germantown Park
Church Road
Gluckstadt, Mississippi

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4/4/22
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MADISON COUNTY SCHOOL SU CHURCH ROAD

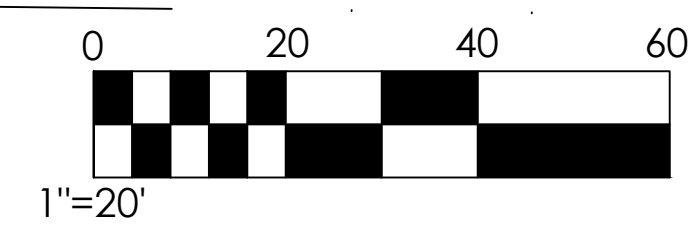


JOHN HARRELD C-2

GLUCKSTADT WAY

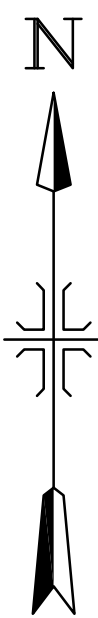
1 A1.0 SITE PLAN
SCALE: 1"=20'-0"

JOHN HARRELD C-2



PARCEL # 082E-21-016/01.00
BUILDING USAGE RETAIL
ZONING C-2
TOTAL SITE 132,349SFSF
TOTAL BUILDING SF = 24,240SF
LOT COVERAGE % = 18%

TOTAL BUILDING SF = 24,240SF / 225 = 107.7
TOTAL PARKING REQUIRED = 108 SPACES
TOTAL PARKING PROVIDED = 110 SPACES
FLOOD PLAIN 'X'
FLOOD PLAIN INDEX 28089C0415F



Date of field survey: July 25, 2022.

Class "B" survey in accordance with the minimum standards for land surveying in the State of Mississippi.

Vertical elevations taken from GPS Network NAVD88.

Subsurface and environmental conditions were not examined or considered as a part of this survey.

Boundary survey by Baker Bryant with Engineering Service, dated July 1, 2022.

MS One-Call #22072714351635
Process Date: July 27, 2022
Below Notes Dated: August 1, 2022

AT&T Distribution - DID NOT LOCATE, PROVIDED DRAWING
Energy MS - NO RESPONSE
Uniti Fiber - NO RESPONSE
Centerpoint Energy - DID NOT LOCATE DUE TO SURVEY TICKET

Comcast Cable of Jackson - DID NOT LOCATE
Bear Creek Water Association - ONLY RECORD DRAWINGS PROVIDED

Canton Municipal Utilities - NO CONFLICT
Telepak dba C Spire Fiber - NO CONFLICT

This survey is considered valid only when original seal and signature of surveyor of record is affixed hereto.

I, Colin L. Baird do hereby certify that the features depicted on this plat are a correct representation of the conditions as they existed on July 30, 2022

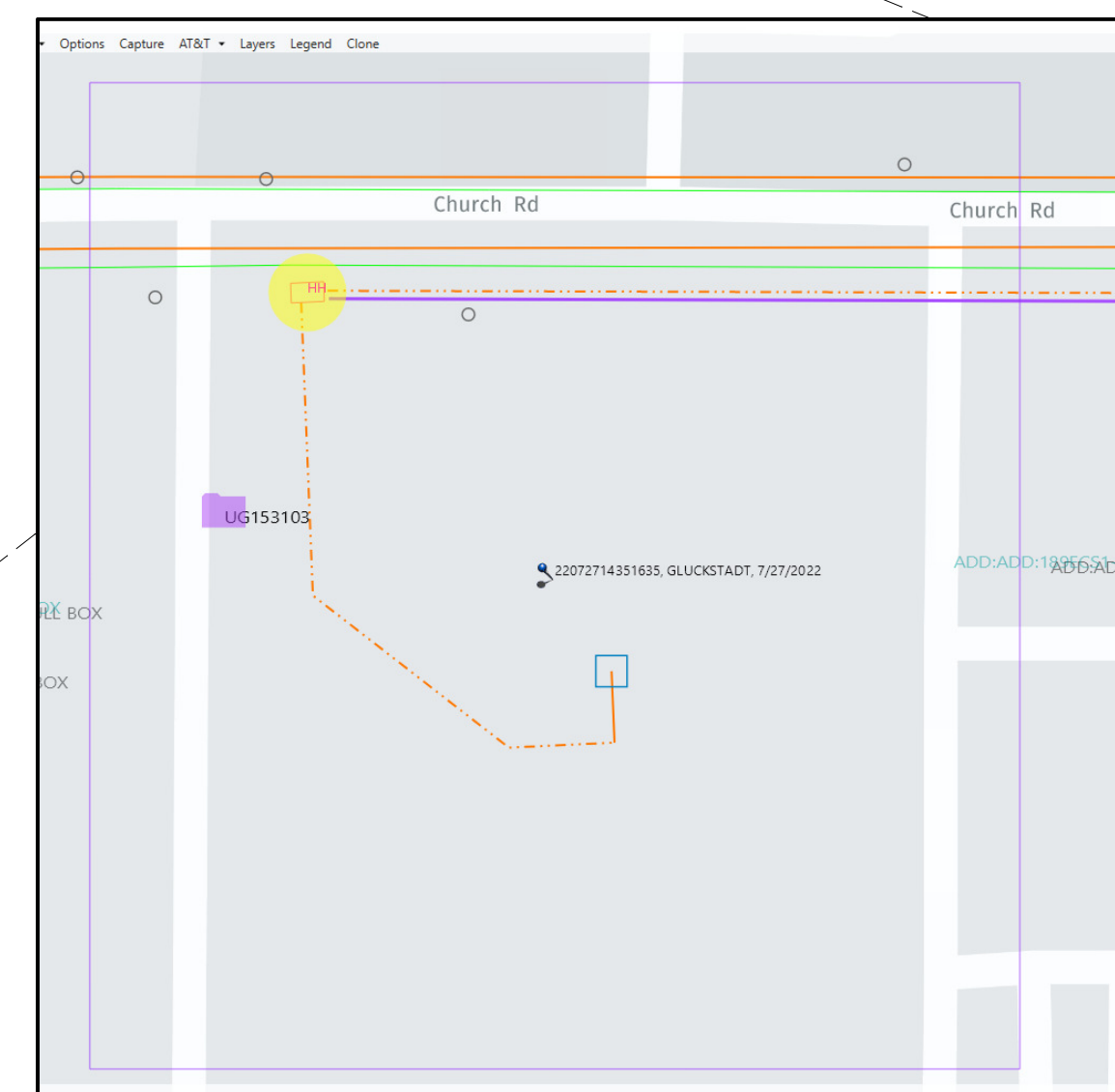
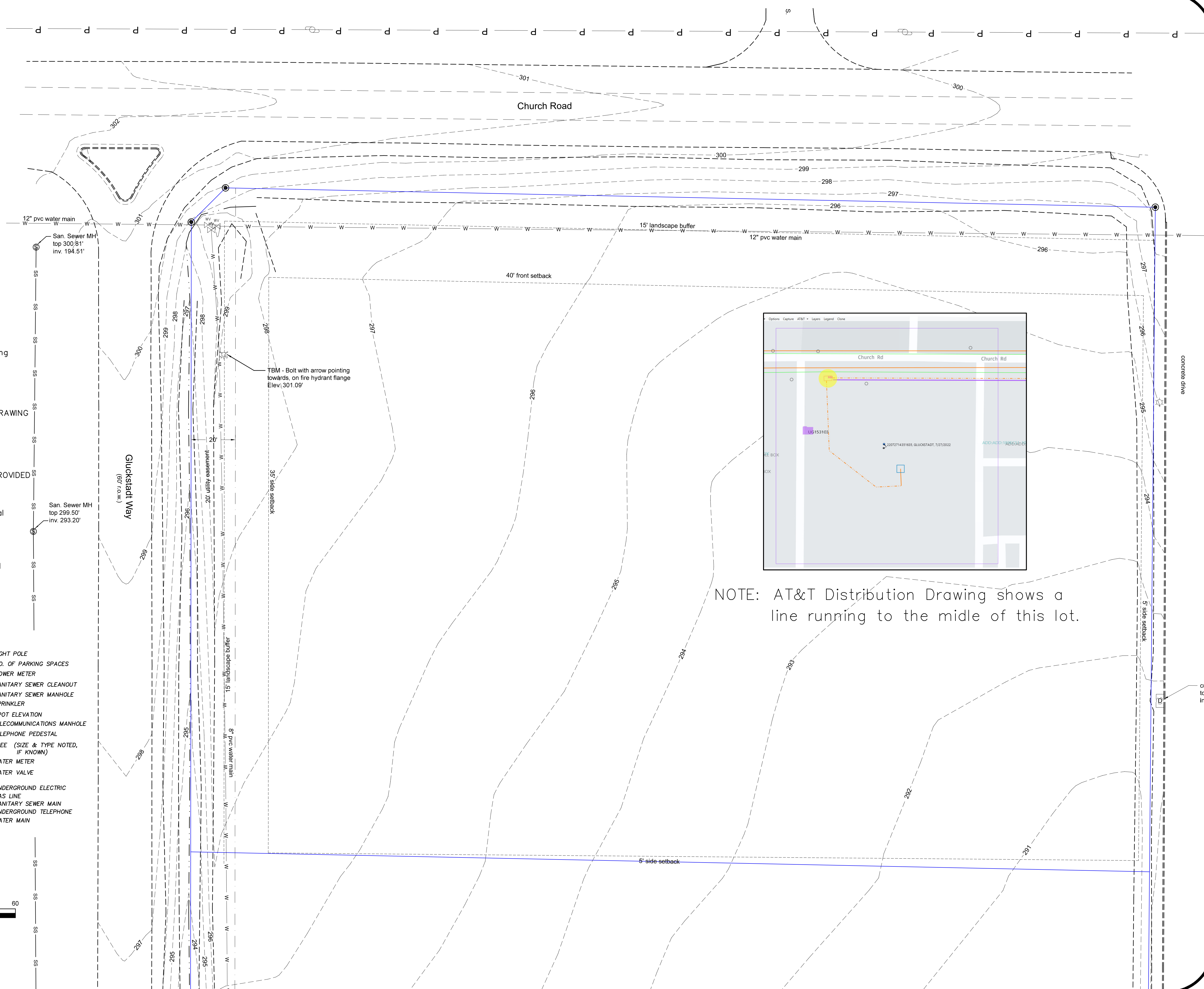
LEGEND

- | | | | |
|--|-----------------------------|--|------------------------------------|
| | A/C UNIT | | LIGHT POLE |
| | CONC. CURB & GUTTER | | NO. OF PARKING SPACES |
| | CONTOURS | | POWER METER |
| | DOWNSPOUT | | SANITARY SEWER CLEANOUT |
| | DRAINAGE INLET | | SANITARY SEWER MANHOLE |
| | ELECTRICAL BREAKER BOX | | SPRINKLER |
| | ELECTRICAL JUNCTION BOX | | SPOT ELEVATION |
| | FINISHED FLOOR ELEVATION | | TELECOMMUNICATIONS MANHOLE |
| | FIRE HYDRANT | | TELEPHONE PEDESTAL |
| | GAS METER | | TREE (SIZE & TYPE NOTED, IF KNOWN) |
| | GRATE INLET (SIZE NOTED) | | WATER METER |
| | GRATE INLET (18" ROUND-TYP) | | WATER VALVE |
| | IRRIGATION VALVE | | UNDERGROUND ELECTRIC |
| | OVERHEAD POWER/TELEPHONE | | GAS LINE |
| | POTABLE WATER | | SANITARY SEWER MAIN |
| | UNDERGROUND TELECOMM | | UNDERGROUND TELEPHONE |
| | UNDERGROUND TELECOMM | | WATER MAIN |
| | UNDERGROUND FIBER OPTIC | | |

GRAPHIC SCALE



1"=20'



NOTE: AT&T Distribution Drawing shows a line running to the middle of this lot.

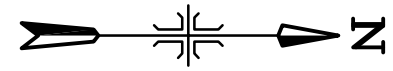
Date:	
By:	
Revisions:	
No.	

BAIRD ENGINEERING, INC.

506 Jefferson Street, Clinton, MS 39056
Phone: (601) 922-5015
www.bairdeng.com

Project No.: # CHURCH RD
Date: 07/30/2022
Scale: 1" = 20'
Designed By: CLB
Reviewed By: CLB

TOPOGRAPHIC SURVEY
GERMANTOWN PARK
GLUCKSTADT, MISSISSIPPI

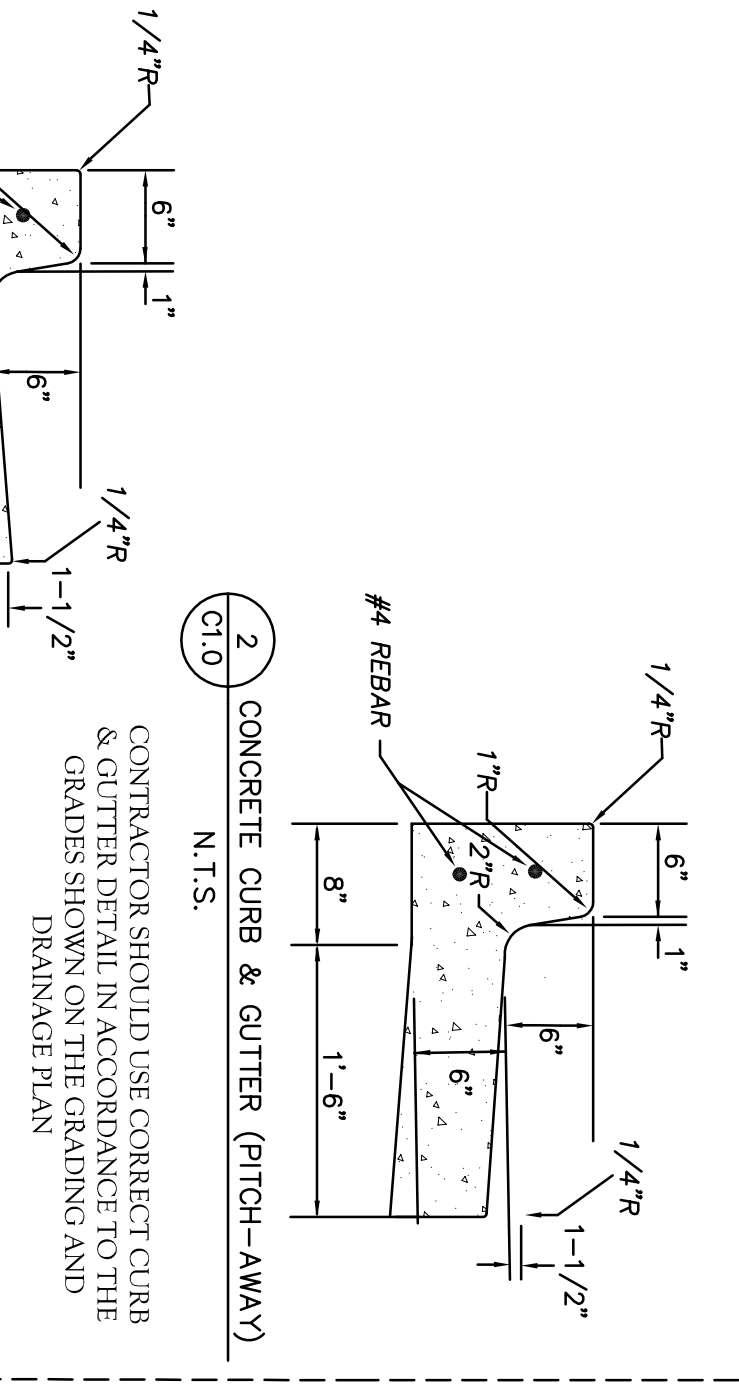


SITE PLAN NOTES

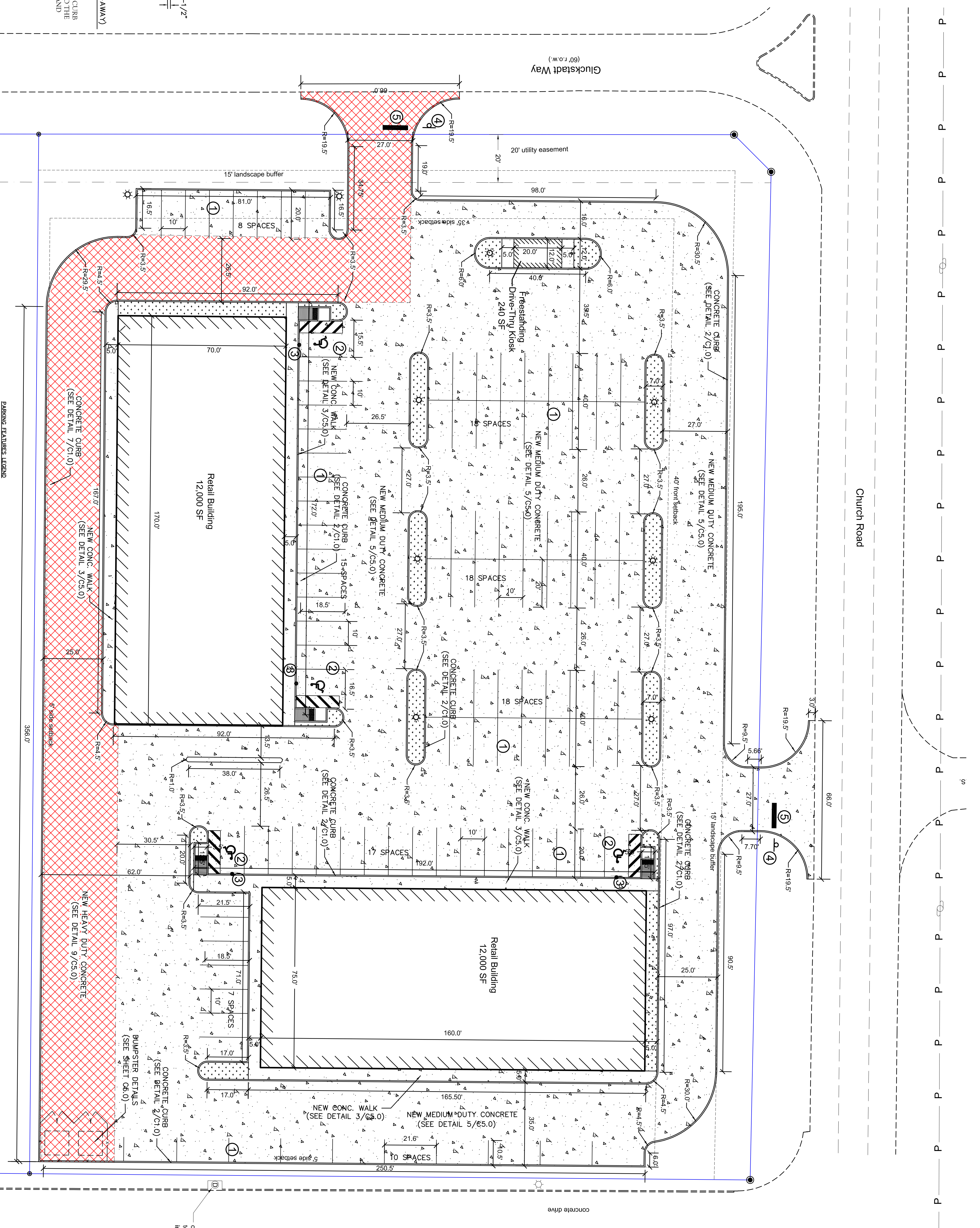
GENERAL

1. TOPOGRAPHIC SURVEY PREPARED BY BAIRD ENGINEERING, INC. DATED 07-29-2022.
2. CONTRACTOR TO NOTIFY ALL UNDERGROUND UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION EXCAVATION. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH MISSISSIPPI REGULATIONS AND STANDARDS AS SPECIFIED BY CITY, COUNTY AND STATE OFFICIALS.
3. DURING CONSTRUCTION, CONTRACTOR SHALL CHECK THE EROSION CONTROL FACILITIES DAILY, AND MAKE REPAIRS OR MODIFICATIONS AS NEEDED TO MAINTAIN ADEQUATE DUST CONTROL.
4. CONTRACTOR SHALL UNCOVER AND VERIFY THE DEPTH OF ALL UTILITY TIE-IN POINTS PRIOR TO CONSTRUCTION AND ORDERING OF ANY MATERIALS. IF CONDITIONS ARE ENCOUNTERED DIFFERENT FROM EXISTING RECORDS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY.
5. CONTRACTOR SHALL DISPOSE OF OFF-SITE IN A LEGAL MANNER AND OBTAIN NECESSARY PERMITS AND DISPOSE OF OFF-SITE IN A LEGAL MANNER AND OBTAIN NECESSARY PERMITS.
6. CONTRACTOR SHALL MAINTAIN AND KEEP ALL NEEDED PERMITS AND LICENSES CURRENT AND VALID THROUGHOUT THE PROJECT.
7. ALL DIMENSIONS SHOWN ON THIS SHEET ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
8. CONTRACTOR SHALL MAINTAIN AND KEEP ALL NEEDED PERMITS AND LICENSES CURRENT AND VALID THROUGHOUT THE PROJECT.
9. CONTRACTOR SHALL MAINTAIN AND KEEP ALL NEEDED PERMITS AND LICENSES CURRENT AND VALID THROUGHOUT THE PROJECT.
10. CONTRACTOR SHALL MAINTAIN AND KEEP ALL NEEDED PERMITS AND LICENSES CURRENT AND VALID THROUGHOUT THE PROJECT.
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14. CONTRACTOR SHALL MAINTAIN AND KEEP ALL NEEDED PERMITS AND LICENSES CURRENT AND VALID THROUGHOUT THE PROJECT.
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16. CONTRACTOR SHALL MAINTAIN AND KEEP ALL NEEDED PERMITS AND LICENSES CURRENT AND VALID THROUGHOUT THE PROJECT.
17. CONTRACTOR SHALL MAINTAIN AND KEEP ALL NEEDED PERMITS AND LICENSES CURRENT AND VALID THROUGHOUT THE PROJECT.
18. CONTRACTOR SHALL MAINTAIN AND KEEP ALL NEEDED PERMITS AND LICENSES CURRENT AND VALID THROUGHOUT THE PROJECT.
19. DETECTABLE WARNING SURFACE TO MEET ADAAG 4.29.2 (TRUNCATED DOME PANEL).
111 TOTAL PARKING SPACES PROVIDED

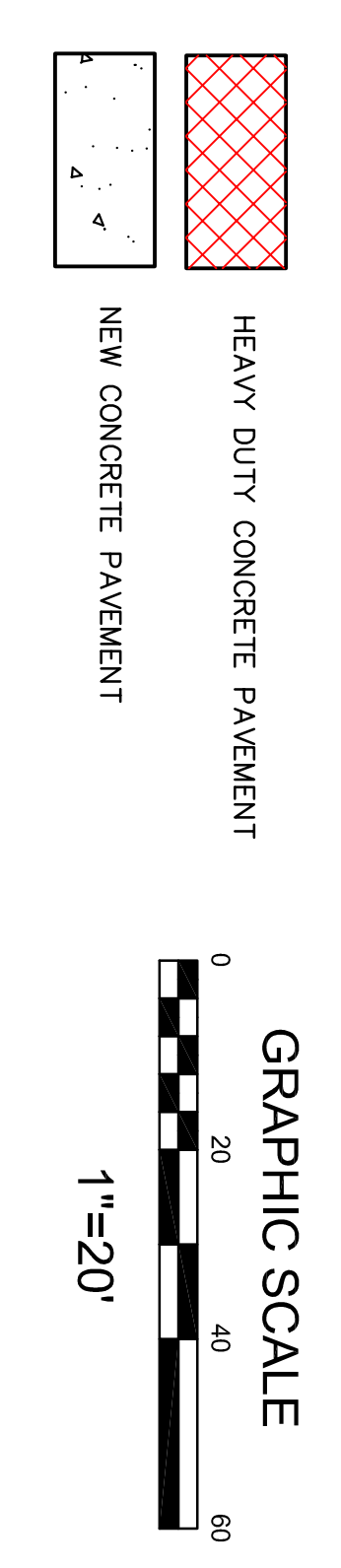
- 1) PROPERTY IS ZONED C-2 (GENERAL COMMERCIAL DISTRICT), CITY OF GLUCKSTADT
- 2) ADJOINING PROPERTIES ARE ZONED C-2 (GENERAL COMMERCIAL DISTRICT)
- 3) SETBACKS:
FRONT - 40 FEET (35 FOOT OPTION IF CORNER LOT)
SIDE - 5 FEET
REAR - 5 FEET
MAXIMUM HEIGHT RESTRICTION: AS DETERMINED BY THE IBC
- 4) NO BUILDING IS LOCATED ON THE SUBJECT PARCEL.
- 5) SUBJECT PROPERTY IS LOCATED WITHIN THE CITY LIMITS OF GLUCKSTADT, MADISON COUNTY, MISSISSIPPI.
- 6) SUBJECT PROPERTY IS LOCATED IN ZONE "X" AS DETERMINED BY FIRM NO. 28099 C 415F, MADISON COUNTY, REVISION DATE-3/17/2010

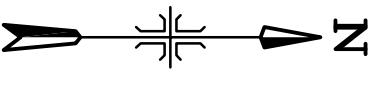


CONTRACTOR JOINT SHOULD BE PLACED EVERY 10 FEET AND/OR EVERY TANGENT



- LEGEND**
- ① TRAFFIC STRIPE (PARKING)
 - ② TRAFFIC STRIPE (HANDICAP)
 - ③ HANDICAP PARKING SIGN (6'x8'-0" - DETAIL 1/C5.1)
 - ④ STOP SIGN (DETAIL 2/C5.1)
 - ⑤ 24" LEGEND
- PARKING FEATURES LEGEND**
- 4" CONTINUOUS WHITE
 - 4" CONTINUOUS BLUE
 - SEE MUTCD MANUAL FOR SPECIFICATIONS.
 - SEE MUTCD MANUAL FOR SPECIFICATIONS.
- PROPOSED CONCRETE CURB & GUTTER (DETAIL 3 & 4/C2.0)**
- HANDICAP PARKING (DETAIL 3 & 4/C2.0)**
- PROPERTY LINE**





1. GENERAL
 THE CONTRACTOR SHALL REMOVE ALL INFRASTRUCTURE AND VEGETATION FROM THE AREA TO BE EXCAVATED, FILLED, OR GRADED.
 ALL IMPROVEMENTS AND ADDITIONS TO THE WATER AND SANITARY SEWER SYSTEMS SHALL BE INSTALLED IN COMPLIANCE WITH THE CITY OF GLUCKSTADT STANDARDS.
 TOPOGRAPHIC SURVEY INFORMATION TAKEN FROM A SURVEY PREPARED BY BAIRD ENGINEERING, INC.

2. CLEARING
 PRIOR TO CUT AND REPLACEMENT OF FILL ON SITE, APPROXIMATELY 6 INCHES OF TOPSOIL SHOULD BE REMOVED WHERE ENCOUNTERED.
 REMOVE BRUSH, ROOTS, LARGE GRASS, ROCKS, AND WEEDS BEFORE STRIPPING.
 REMOVE TOPSOIL TO A MINIMUM DEPTH OF 6 INCHES IN ALL AREAS INDICATED ON THE PLANS TO BE UNDER BUILDING, DRIVES, PARKING, SIDEWALKS, AND OTHER PAVING.
 STORE TOPSOIL APPROVED FOR FILL IN GENERAL LANDSCAPE AREAS AT DESIGNATED LOCATIONS ON SITE.

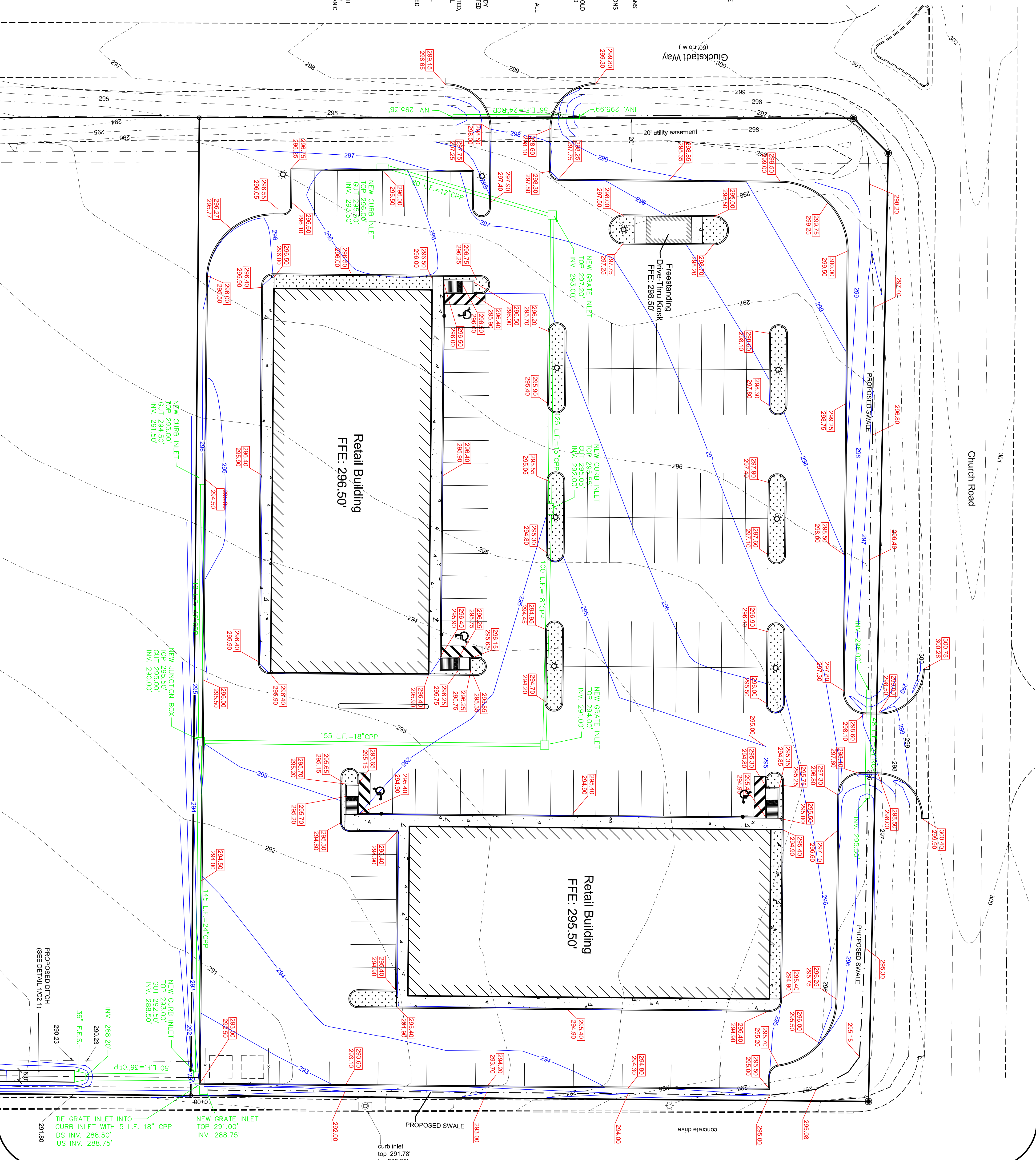
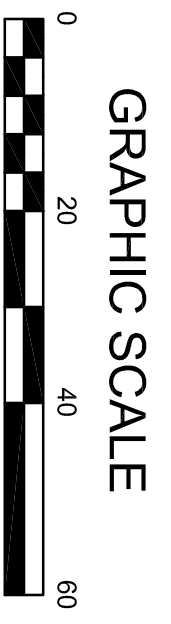
3. GRUBBING
 REMOVE ASPHALT, CONCRETE CURBS, LIGHTING POLES AND FOUNDATIONS, TRASH, STUMPS, OLD FENCE STRUCTURES, ETC. EITHER ABOVE OR BELOW THE NEW SURFACE, OR BELOW THE GROUND WHICH MAY INTERFERE WITH THE NEW CONSTRUCTION.

4. CLEAN-UP
 UPON COMPLETION OF WORK OF THIS SECTION, REMOVE FROM PREMISES, AND DISPOSE OF ALL RELAND DEBRIS. IMPLEMENT EROSION CONTROL PLAN.

5. SITE GRADING
 PROPPING WITH A LOADED TRUCK OR SCRAPER SHOULD BE PERFORMED TO LOCATE POTENTIAL SOFT SPOTS IN THE SUBGRADE AND/OR NATURAL GROUND BEFORE ANY FILL IS PLACED. SOFT SPOTS SHOULD BE REMOVED AND REPLACED WITH COMPACTED STABLE SANDY CLAY (CL). THE TOP 6 INCHES OF NATURAL GROUND SHOULD BE SCARIFIED AND COMPACTED TO 98% ASTM D698 PRIOR TO FILL PLACEMENT.
 CUT OR FILL AND MACHINE GRADE SITE AS SHOWN ON THE DRAWINGS TO DRAIN AS INDICATED, ALLOWING FOR THE THICKNESS OF PAVING SURGRADE AND THE PAVING ITSELF. WHERE FILL IS REQUIRED, USE PER GEOTECHNICAL REPORT.
 ALL EARTHWORK SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT.
 ALL FILL MATERIALS DESCRIBED IN GEOTECHNICAL REPORT MUST BE REMOVED AND REPLACED WITH ACCEPTABLE FILL MATERIAL.

6. FILLING AND BACKFILLING MATERIALS
 IMPROVED FILL MATERIAL WILL HAVE PROPERTIES TO ALLOW COMPACTION BY ROLLING AND TAMPING TO A DENSITY EQUAL TO 95% OF MAXIMUM DENSITY WITH 4.2% OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY TEST METHODS DESCRIBED IN ASTM D698. LATEST UNSUITABLE FOR COMPACTION AS DETERMINED BY THE SOILS TESTING LABORATORY. FINISH SUITABLE BORROW WHICH CAN BE COMPACTED FROM AN OFF-SITE SOURCE. ALL FILL AND BACKFILL MATERIALS SHALL BE OF LOW EXPANSIVITY, UNIFORM IN GRADE, FREE FROM ORGANIC MATERIAL, SAND CONSIST OF SILTY CLAY (CL) SOIL HAVING A LIQUID LIMIT OF NOT MORE THAN 40 PERCENT AND A PLASTICITY INDEX BETWEEN 10 AND 20.

7. DETENTION POND
 NO DETENTION REQUIRED FOR THIS PROJECT. DETENTION IS PROVIDED FOR THE SUBJECT PARCEL WHICH HAS BEEN APPROVED BY MADISON COUNTY.



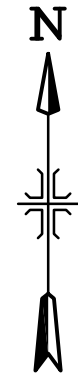
No.	Revisions:	By:	Date:

BAIRD ENGINEERING, INC.
 506 Jefferson Street, Clinton, MS 39056
 Phone: (601) 925-15015

Project No.:
 # Church Rd
 Date: 07/30/2022
 Scale: 1" = 20'
 Designed By:
 Checked By:
 Reviewed By:
 CEB

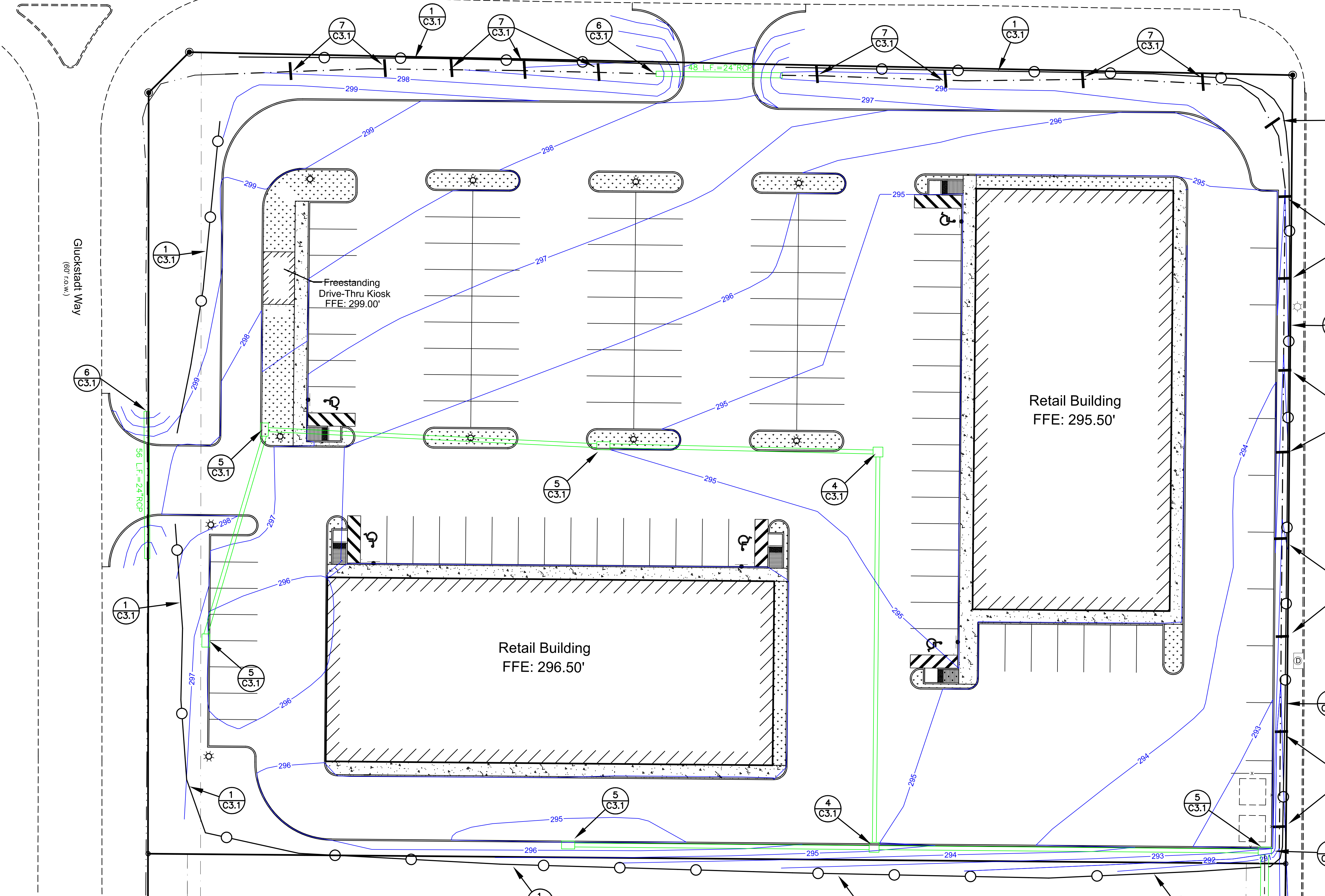
GRADING PLAN
 GERMANTOWN PARK
 GLUCKSTADT, MISSISSIPPI

C 2.0



Church Road

Gluckstadt Way
(60' r.o.w.)



NOTES:

1. SILT FENCE TO BE INSTALLED ALONG THE CONTOUR, NEVER UP OR DOWN ON SLOPE.
2. ENDS OF SILT FENCE SHOULD BE EXTENDED UPSLOPE TO PREVENT WATER FROM FLOWING AROUND THE ENDS OF THE FENCE.
3. CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: TWIST METHOD OR HOOK METHOD AS SPECIFIED ON DETAIL.
4. PLACE WATTLES AROUND CURB INLETS DURING CONSTRUCTION.
5. PLACE CULVERT EROSION WATTLE PROTECTION AROUND OPEN CULVERTS DURING CONSTRUCTION. SHALL COMPLY WITH SECTION 4, PAGES 4-182 THRU 4-189 OF THE PLANNING & DESIGN MANUAL FOR THE CONTROL OF EROSION, SEDIMENT & STORMWATER.
6. MAINTAIN MIN. 10' VEGETATIVE BUFFER AROUND PERIMETER OF SITE WHERE PRACTICABLE.
7. ADDITIONAL SILT FENCE TO BE INSTALLED AS NEEDED TO PREVENT MIGRATION OF SEDIMENT FROM CONSTRUCTION AREAS.
8. SWPPP HOUSEKEEPING AREA TO BE MIN. 20'X40', LOCATE SANITARY FACILITIES, TRASH RECEPTACLES, EQUIPMENT MAINTENANCE, RE-FUELING, AND CONCRETE WASH-OUT IN THIS AREA. ERECT SIGN AT AREA INDICATING, "SWPPP HOUSEKEEPING AREA".

GRAPHIC SCALE



1"=20'

GRAPHIC SCALE



1"=20'

PURSUANT TO ADOPTED STORM WATER MANAGEMENT PLANS FOR NON-RESIDENTIAL USERS, THE FOLLOWING INFORMATION IS PROVIDED:

- SIGNIFICANT MATERIALS TO BE PLACED ON PROPERTY INCLUDE FILL/CUT MATERIAL, CONCRETE, METAL OR IRON FOR THE BUILDING
- CURRENT AND PROPOSED LAND USE IS FOR STATE FARM INSURANCE, THE ONLY FEASIBLE THREAT OF STORM WATER POLLUTION WILL ARISE DURING CONSTRUCTION. THE THREAT WILL BE FROM UNCONTROLLED SEDIMENT RUNOFF. SEDIMENT RUNOFF CAN BE CONTROLLED BY FOLLOWING THE GUIDELINES AS SHOWN ON THE PRECEDING AND CURRENT "EROSION CONTROL PLAN" SHEETS.
- CUT/FILL MATERIAL MAY BE STOCKPILED ON SITE DURING CONSTRUCTION. IF SO, A SILT FENCE MUST BE IN PLACE AROUND SAID STOCKPILE, AND ALSO THE STOCKPILE SHOULD BE COVERED. CONCRETE WILL BE DELIVERED ONSITE WITH CONCRETE TRUCKS. SPILLOVER FROM FORMING WILL BE STOCKPILED AND REMOVED FROM SITE TO AN APPROVED RUBBISH OR LANDFILL SITE. THE SAME APPLIES FOR ALL METAL/IRON EXCESS FROM BUILDING CONSTRUCTION.
- ALL LITTER IS TO BE DISPOSED OF IN A CERTIFIED LAND FILL. LITTER IS TO BE TEMPORARILY STORE ON SITE UNTIL IT CAN BE HAULED TO A CERTIFIED LAND FILL OR REMOVED BY PROFESSIONAL WASTE MANAGEMENT SERVICES.
- ALL SIGNIFICANT MATERIALS REMAINING AFTER CONSTRUCTION WILL BE REMOVED FROM SITE AND DISPOSED OF IN AN APPROVED RUBBISH OR LANDFILL SITE.
- PESTICIDES OR HERBICIDES ARE NOT NECESSARY AND ARE, THEREFORE, NOT ALLOWED ON SITE. IF ANY ARE FOUND ON SITE, THEY WILL BE DISPOSED OF AS PER DEQ OR EPA REGULATIONS.
- NOTE THE LOCATION OF ALL SILT FENCES AND EROSION CONTROL MEASURES AS INDICATED ON PRECEDING "EROSION CONTROL PLAN" SHEET. THE DETAILS OF SAID FENCES AND CONTROL MEASURES ARE SHOWN ON CURRENT SHEET.

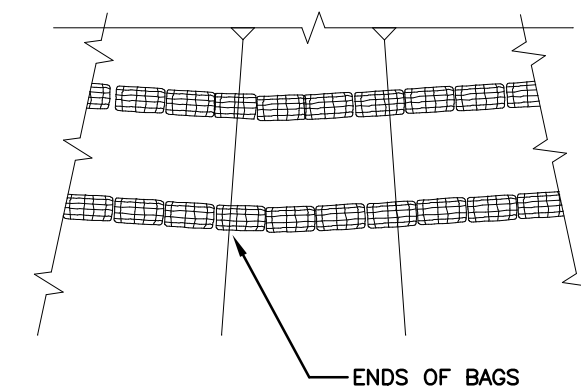
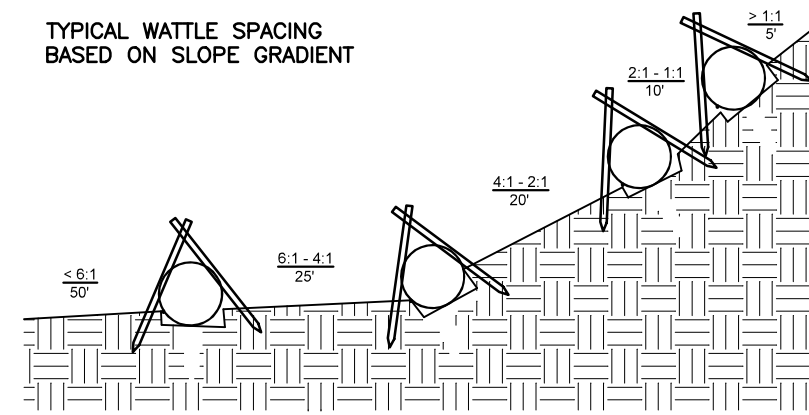
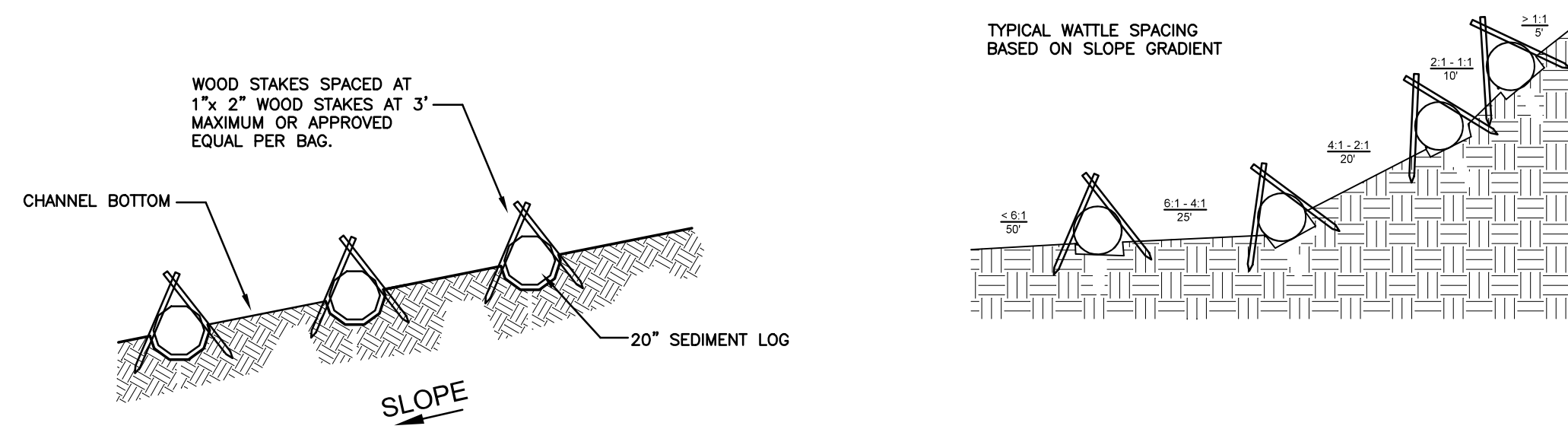
Revisions:	
No.	
Date:	
By:	

BAIRD ENGINEERING, INC.
506 Jefferson Street, Clinton, MS 39056
Phone: (601) 925 - 5015

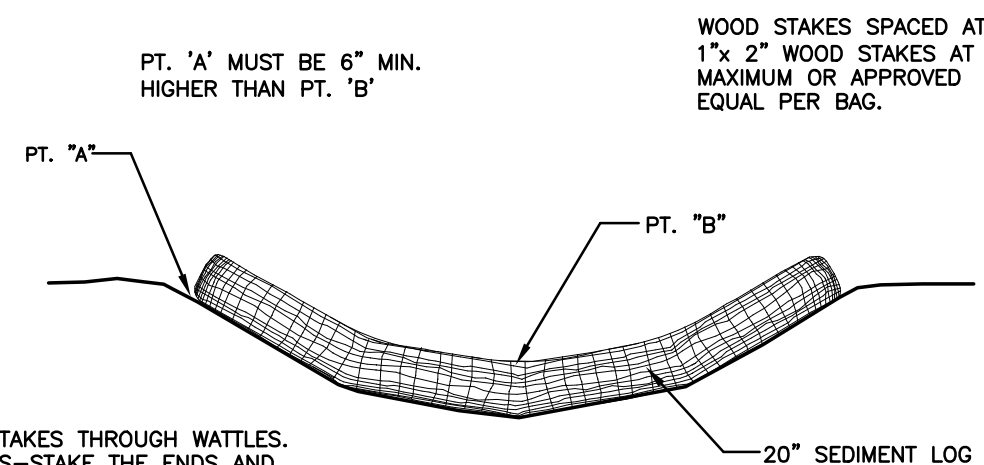
Project No.: # CHURCH RD
Date: 07/30/2022
Scale: 1" = 20'
Designed By: CLB
Reviewed By: CLB

EROSION CONTROL PLAN
GERMANTOWN PARK
GLUCKSTADT, MISSISSIPPI

C 3.0



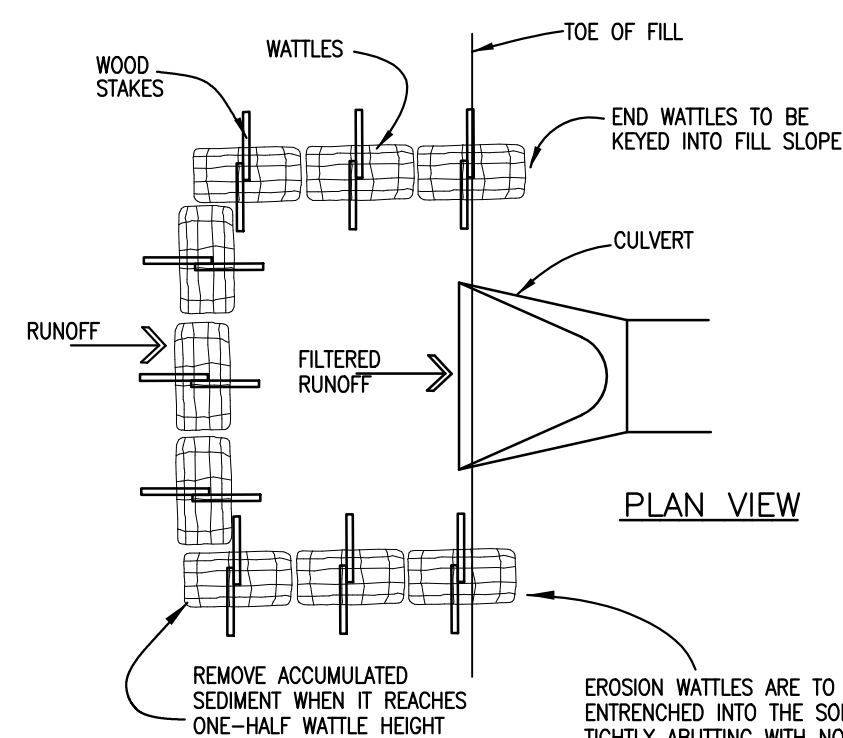
PERSPECTIVE



CROSS SECTION

7 SEDIMENT LOG DITCH CHECK
C5.1 N.T.S.

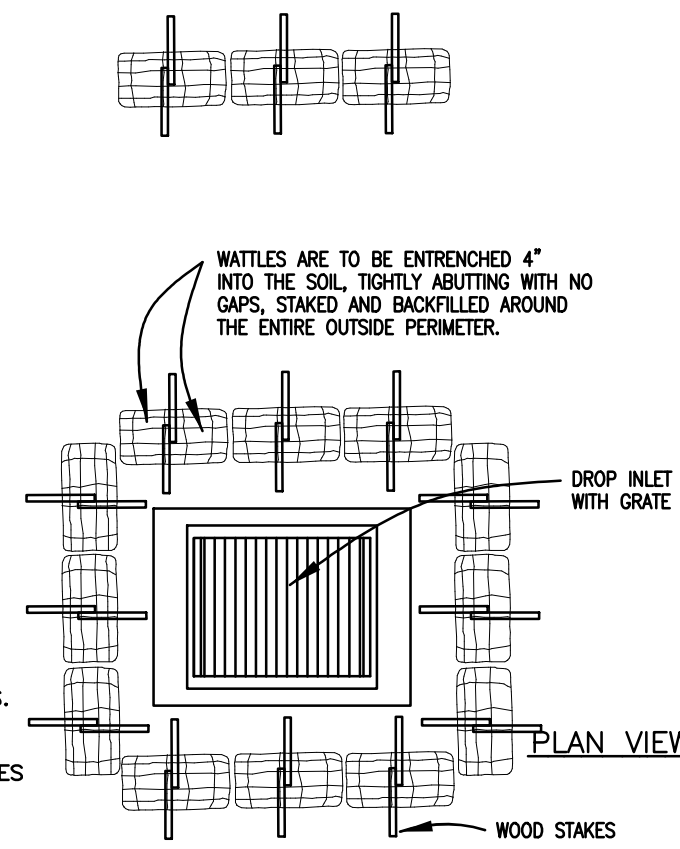
DON'T DRIVE STAKES THROUGH WATTLES. INSTEAD, CROSS-STAKE THE ENDS AND BENDS AND OTHER STAKES GO ON THE DOWNSTREAM/DOWNHILL SIDE OF WATTLES



PLAN VIEW

6 CULVERT EROSION BALE INLET PROTECTION
C5.1 N.T.S.

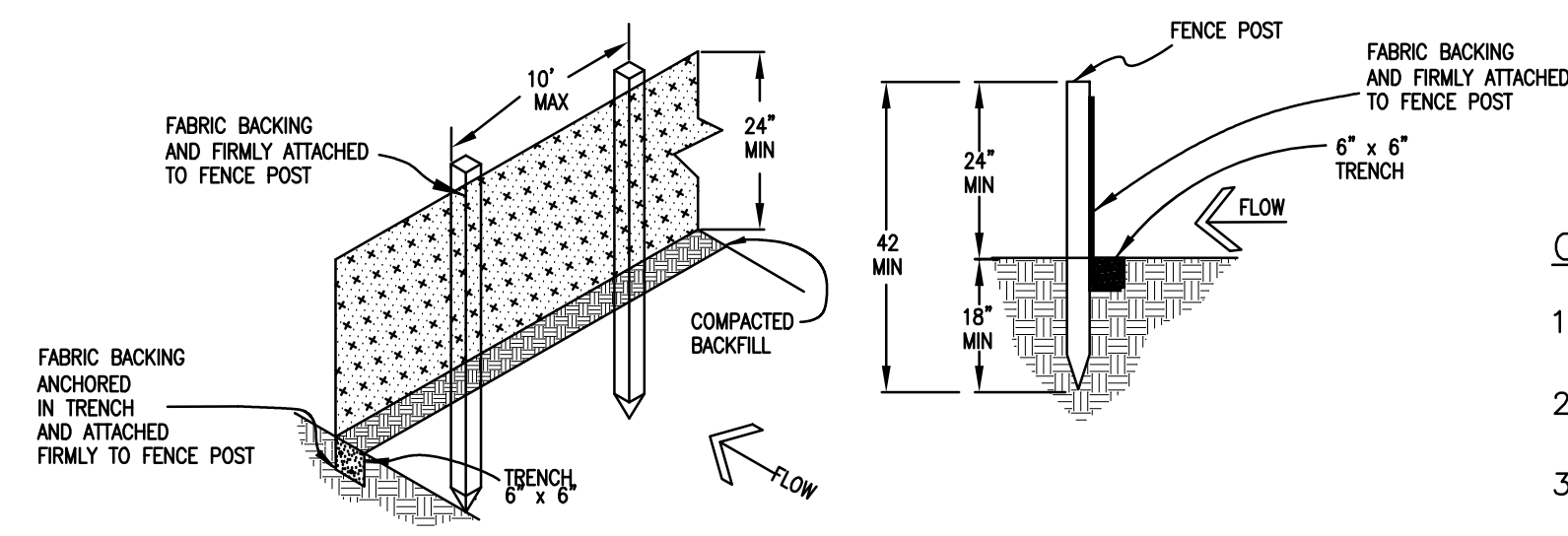
DON'T DRIVE STAKES THROUGH WATTLES. INSTEAD, CROSS-STAKE THE ENDS AND BENDS AND OTHER STAKES GO ON THE DOWNSTREAM/DOWNHILL SIDE OF WATTLES



PLAN VIEW

CROSS-SECTION BB

4 DROP INLET EROSION FILTER
C5.1 N.T.S.



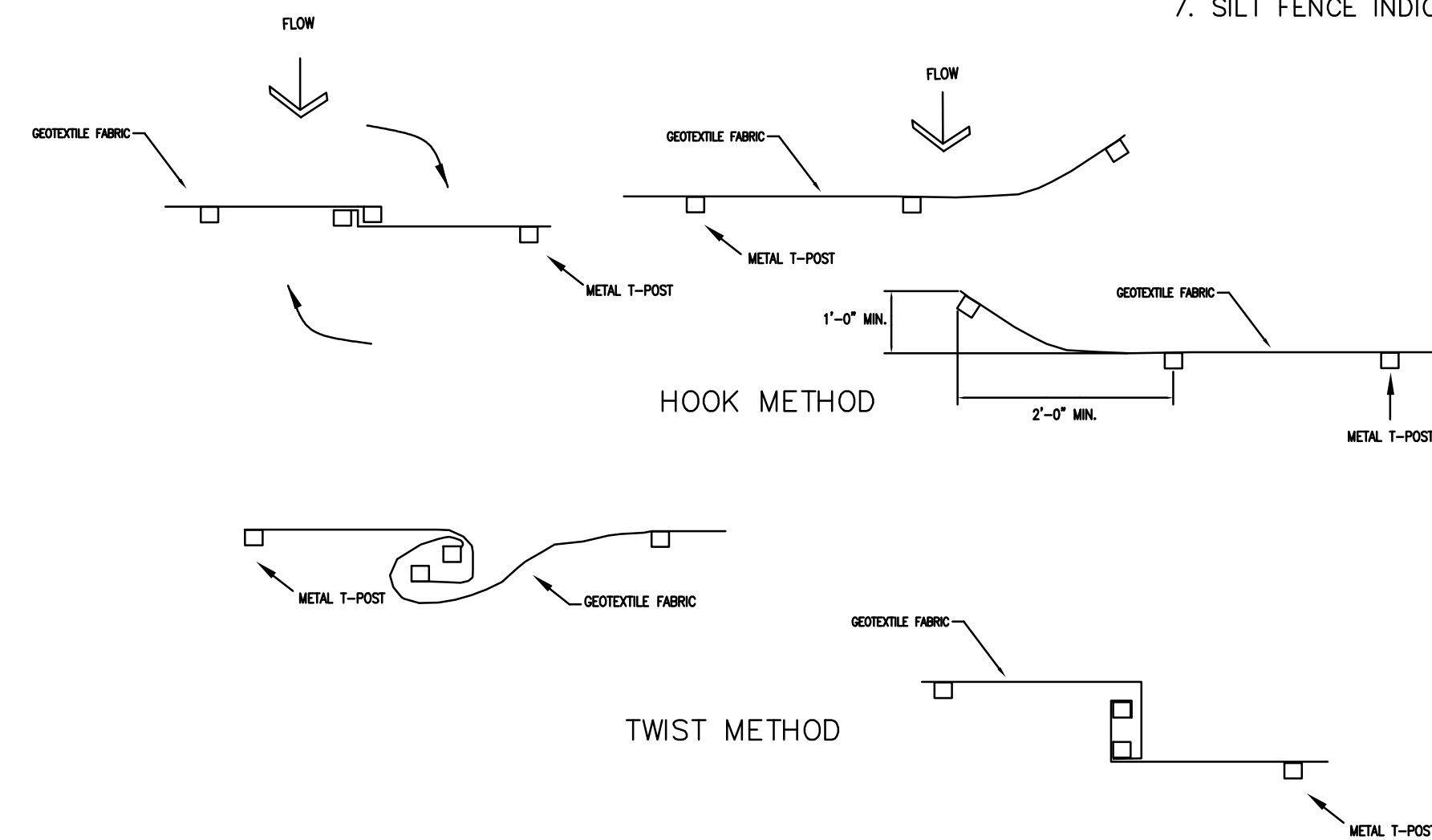
1 SILT FENCE DETAIL
C5.1 N.T.S.

Construction Notes for Silt Fence:

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO SILT FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID-SECTION.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6 INCHES AND FOLDED.
4. LOCATE POSTS DOWNSLOPE OF FABRIC FOR FENCE SUPPORT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

POSTS: STEEL EITHER "T" OR "U" TYPE, OR WOODEN
POSTS: LOCATE MAXIMUM OF 6 FEET O.C.
FENCE: PER LOCAL REQUIREMENTS OR WOVEN WIRE, 14 GA. 6" MAX. MESH OPENING
FILTER CLOTH: FILTER X, MIRAFI 100X, STABI-LINKA T140N OR APPROVED EQUAL

6. SILT FENCE SHALL BE PLACED SO THAT NO SEDIMENT WILL LEAVE THE SITE.
7. SILT FENCE INDICATION ON THE PLANS AS —○—○—○—



2 JOINING TWO LENGTHS OF SILT FENCE
C5.1 N.T.S.

Maintenance Plan:

Check all disturbed areas, erosion and sediment controls after each significant rainfall but not less than once per week. Make needed repairs within 24 hours. Remove sediment from basin, inlet protection devices and silt fences, when accumulated sediment reaches 65 percent capacity. Replace non-functional silt fence. Maintain all vegetated areas to provide proper ground cover, re-seed, fertilize, and mulch as needed.

CONSTRUCTION SEQUENCE

Implementation BMP Sequence:

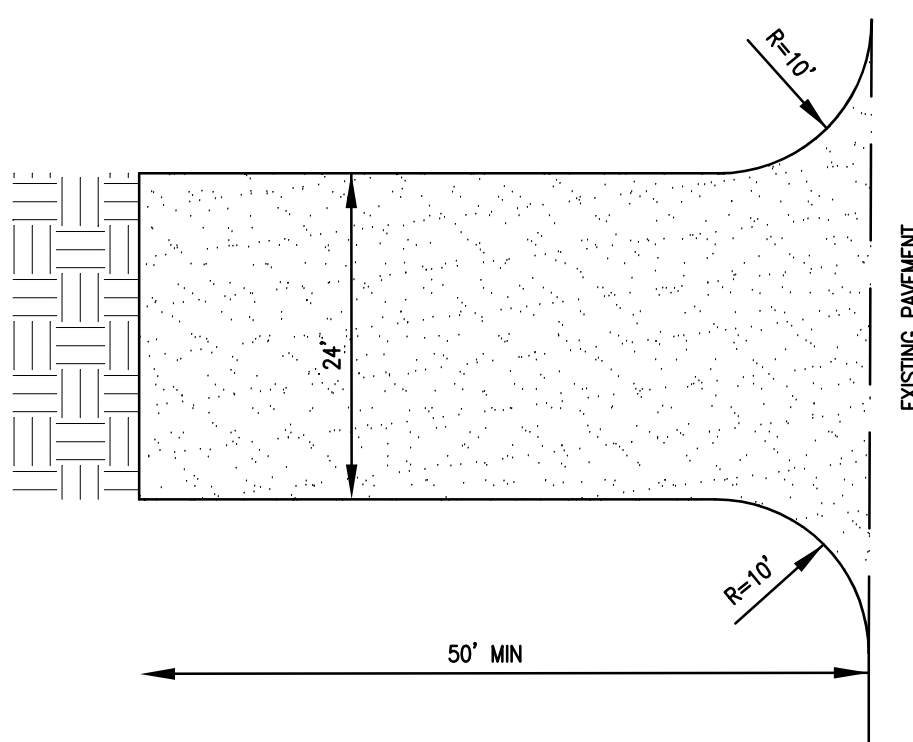
1. Build construction entrance/exit and equipment parking areas.
2. Install silt fences, wattle barriers and outlet protection.
3. Rough grade site and stockpile topsoil (with silt fence).
4. Construct ditches, swales and basins (as needed)
5. Construct parking areas and drives
6. Perform temporary and permanent seeding and mulching.

Vegetative Stabilization Measures

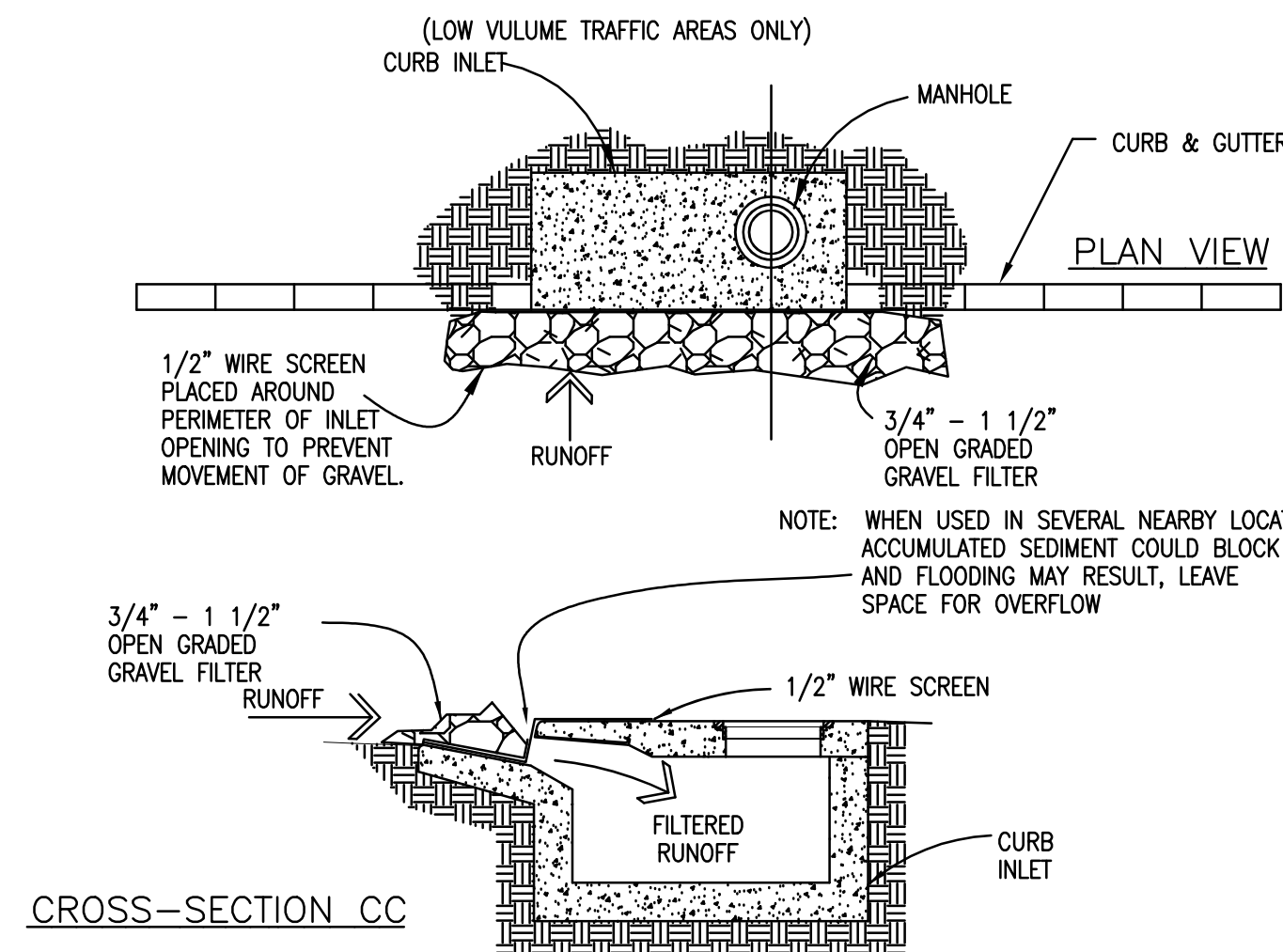
1. Preserve existing vegetation at areas on site where no construction activity is planned.
2. Clearing and grubbing operations should be staged to preserve existing vegetation.
3. Soil and vegetative stabilization measures must be initiated whenever any clearing, grading, grubbing, excavating or other land disturbing activities have temporarily or permanently ceased on any portion of the site and will not resume for a period of fourteen (14) calendar days or more. The appropriate temporary or permanent vegetative practices shall be initiated immediately (no later than the next work day).
4. Hydroseeding will be applied on disturbed soil areas requiring temporary protection until permanent vegetation is established or disturbed soil areas that must be re-disturbed following an extended period of inactivity.
5. Hydroseeding may be used alone only when there is sufficient time in the season to ensure adequate vegetation establishment and erosion control. otherwise, hydroseeding must be used in conjunction with a soil binder or mulching (i.e. straw mulch).

NOTES:

1. STONE SIZE - USE 1-1/2" TO 3" ROCK AND 1/2" TO 3/4" FILTER LAYER
2. THICKNESS - NOT LESS THAN 6"
3. FILTER CLOTH WILL BE PLACED OVER THE ENTIRE AREA BEFORE PLACING STONE. USE TYPE V GEOTEXTILE FABRIC.
4. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET.
5. WIDTH - 30 FOOT MINIMUM
6. THE ENTRANCE SHALL BE MAINTAINED WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
7. WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.



3 CONSTRUCTION ENTRANCE
C5.1 N.T.S.



CROSS-SECTION CC

5 CURB INLET GRAVEL AND WIRE MESH FILTER TRAP
C5.1 N.T.S.

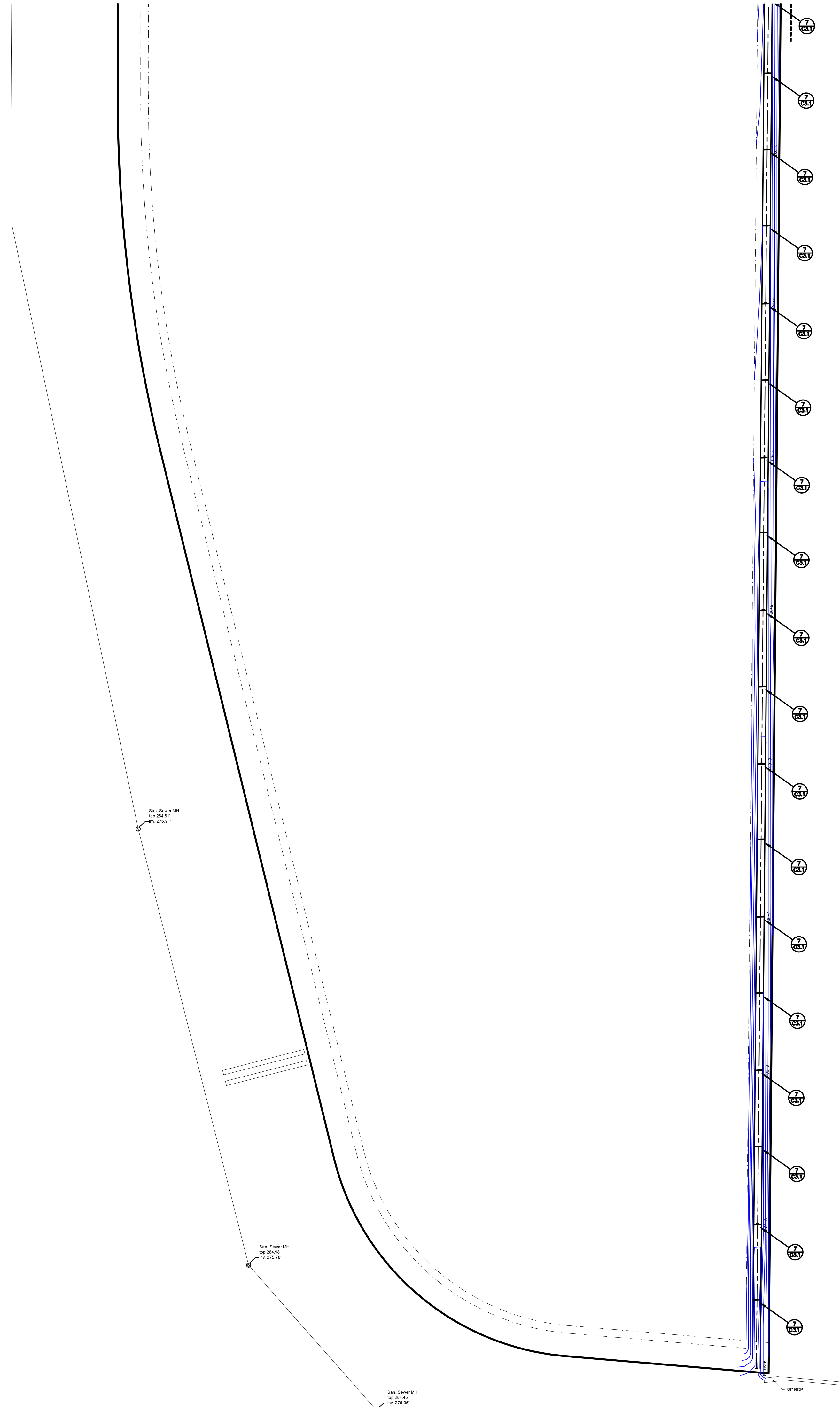
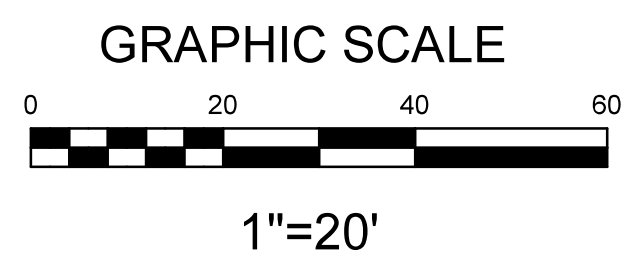
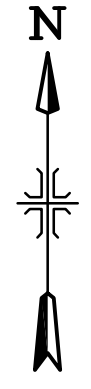
Date:	
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Revisions:	
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BAIRD ENGINEERING, INC.
506 Jefferson Street, Clinton, MS 39056
Phone: (601) 925-5015

Project No.: # 4317
Date: 02/15/2021
Scale: 1" = 20'
Designed By: CLB
Reviewed By: CLB

EROSION CONTROL DETAILS
GERMANTOWN PARK
GLUCKSTADT, MISSISSIPPI
C 3.1



Sta. Sewer MH
Top 264.81'
Inv. 275.91'

Sta. Sewer MH
Top 264.86'
Inv. 275.78'

Sta. Sewer MH
Top 264.45'
Inv. 275.59'

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No.	Revisions:	By:	Date:

BAIRD ENGINEERING, INC.
506 Jefferson Street, Clarks, MS 39056
Phone: (601) 925-5015

Project No.:
CHURCH RD
Date:
07/30/2022
Scale:
1" = 20'
Designed By:
CLB
Reviewed By:
CLB

EROSION CONTROL PLAN
GERMANTOWN PARK
GLUCKSTADT, MISSISSIPPI

UTILITIES NOTES

- GENERAL**

THE SITE CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH THE MOST CURRENT DATA PROVIDED BY THE OWNER.

ALL WATER AND SANITARY SEWER SERVICES TO BE INSTALLED TO WITHIN 5 FEET OF BUILDING LINE. SINCE WATER AND SEWER IS PRIVATELY OWNED AND MAINTAINED ON SITE, ALL SERVICES AND MATERIALS WILL BE TO STATE REGULATORY STANDARDS.

THE SITE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES IS SHOWN ON THESE PLANS AS A GENERAL REFERENCE ONLY. UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY EXCAVATION. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE SITE CONTRACTOR MUST MAKE CONTACT WITH APPROPRIATE UTILITY COMPANY OR OWNER PRIOR TO ANY EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES AND NON-DISTRACTIVE MEANS IF POSSIBLE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS AS SHOWN ON THE PLANS.

SEE ARCHITECTURAL SHEETS FOR BUILDING CONNECTIONS.

ELECTRIC SERVICE TO BE COORDINATED WITH INTERIOR.

GAS SERVICE TO BE COORDINATED WITH ATMOS.
- SANITARY SEWER AND WATER CONNECTIONS**

CONNECTION OF SANITARY SEWER AND WATER TO THE EXISTING INFRASTRUCTURE SHALL BE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.

SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED.

SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF ALL UNDERGROUND UTILITIES WITH THE WORK. ALL UNDERGROUND UTILITIES (WATER, STORM SEWER, SANITARY SEWER, IRRIGATION SYSTEMS, ELECTRICAL CONDUIT, ETC) SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF BASE COURSE, MANHOLE, AND THE FASCEDENT OF ANY APPROPRIATE SOIL STABILIZATION.

SEWER PIPE AND FITTINGS SHALL BE PVC, ASTM D-3034, SDR-26, ELASTOMERIC GASKET JOINTS.

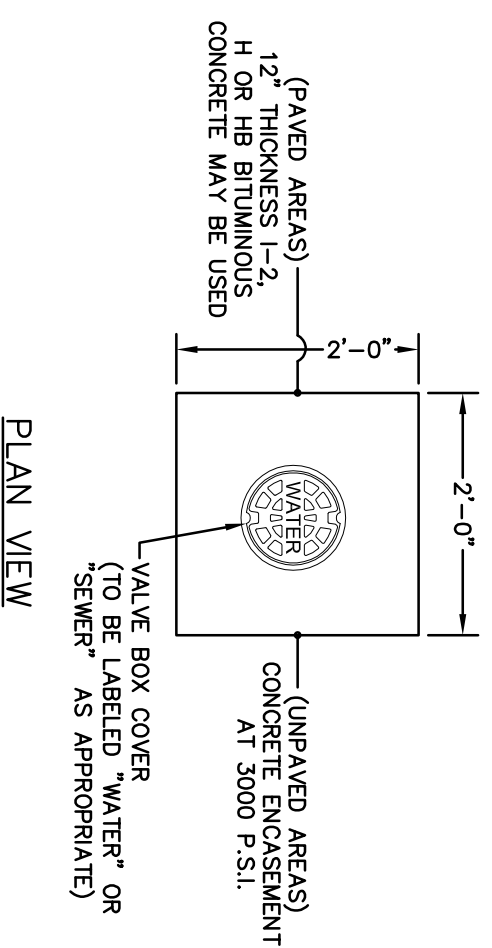
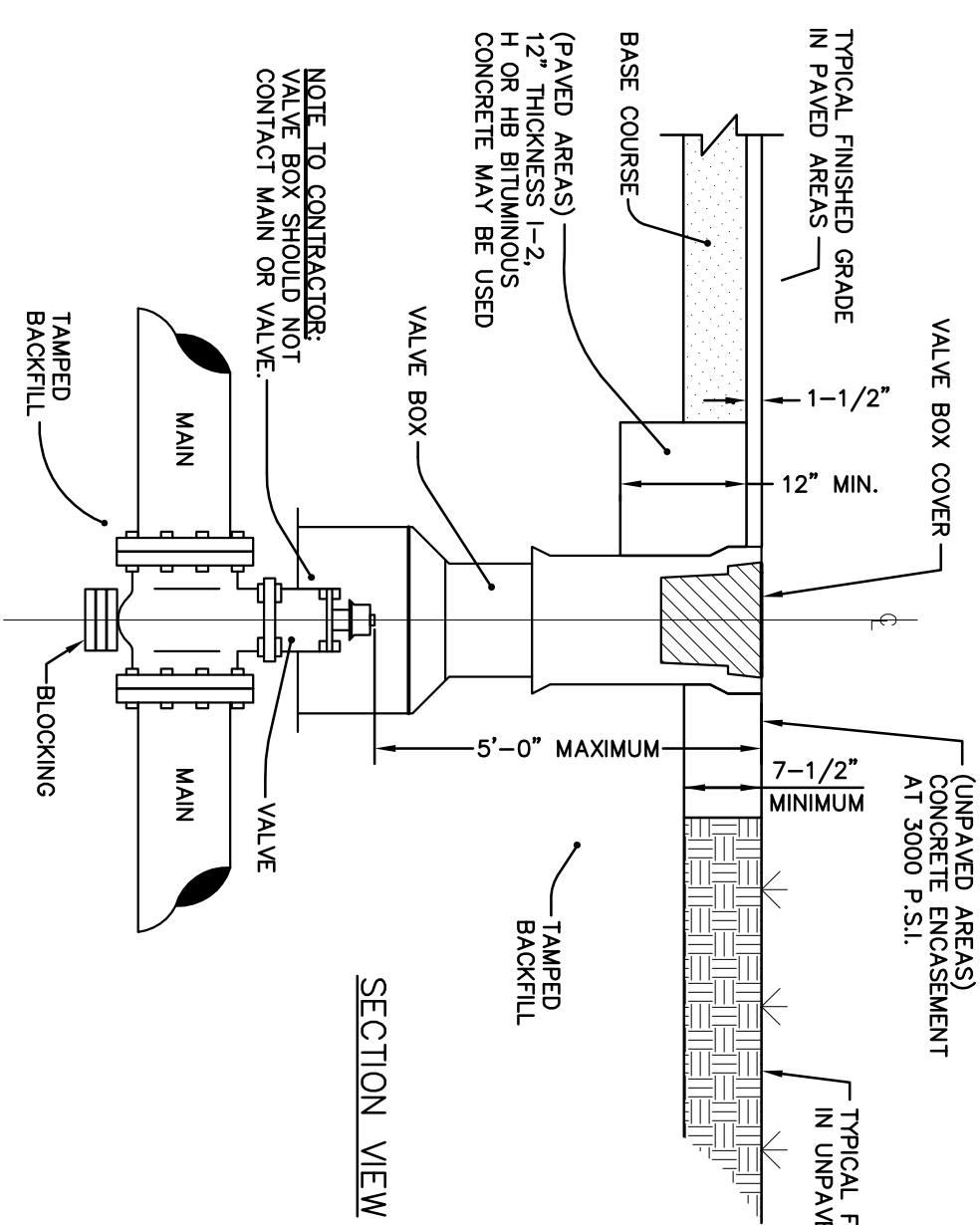
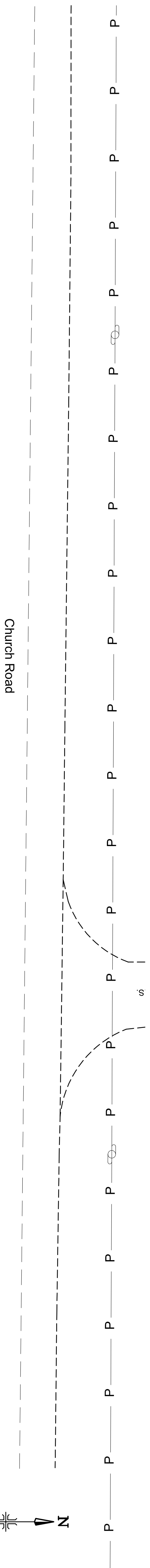
ALL WATER SERVICE LINES 3" AND UNDER SHALL BE PB, AWWA STD. C-902 CLASS 150.

SITE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO EXISTING UTILITIES TO REMAIN AND FOR ALL INTERRUPTIONS CAUSED BY A RESULT OF HIS WORK.

ALL SANITARY SEWER AND WATER UTILITIES SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH STATE REGULATORY AGENCY STANDARDS.

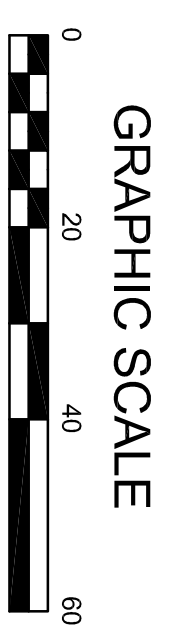
WATER METERS ARE TO BE INSTALLED BY BEAR CREEK WATER ASSOCIATION. CURB STOPS ARE TO END AT, OR REASONABLY CLOSE TO THE RIGHT-OF-WAY IN AN AREA THAT IS ACCESSIBLE FOR READING OR MAINTENANCE.

CONTRACTOR TO FOLLOW THE BEAR CREEK WATER ASSOCIATION UTILITY CONNECTION INSPECTION GUIDE



- NOTES**
- ONLY MANUFACTURED VALVE BOX EXTENSIONS SHALL BE ALLOWED.
 - VALVE OPERATING NUT MUST BE EXTENDED SO THAT THE DEPTH IS NO GREATER THAN 5" (1") FROM THE SURFACE USING A MANUFACTURER APPROVED EXTENSION KIT.
 - PRECAST CONCRETE ENCASMENT IS ALLOWED OUTSIDE OF PAVED AREAS.

VALVE BOX DETAIL



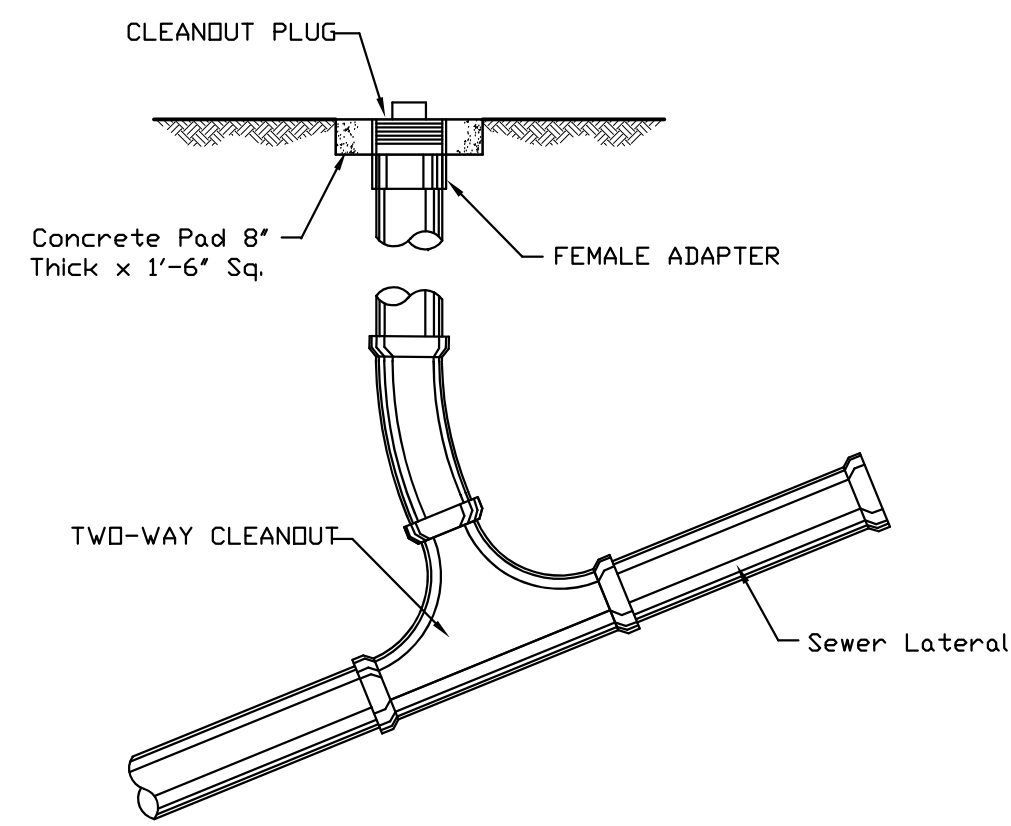
Project No.:
CHURCH RD
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CAD
Reviewed By:
CJD

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Phone: (601) 925 - 5015

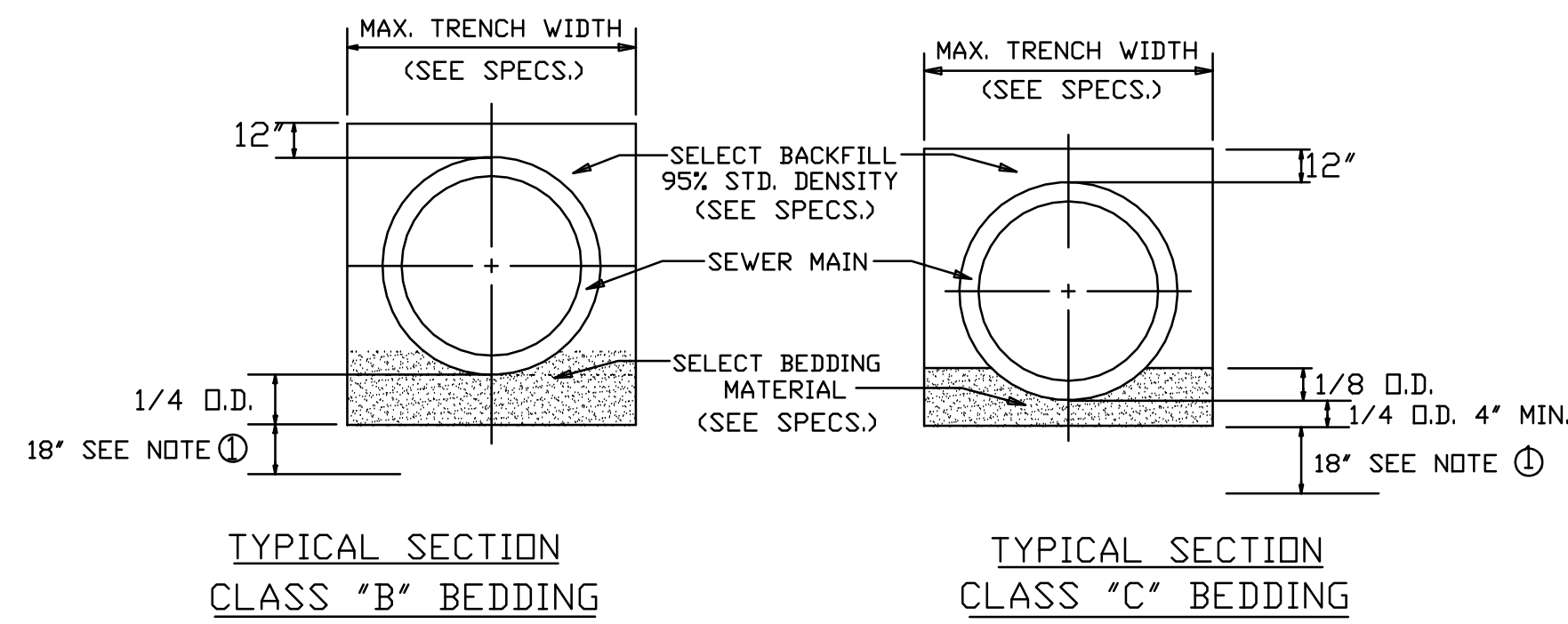
No.	Revisions:	By:	Date:

UTILITY PLAN
GERMANTOWN PARK
GLUCKSTADT, MISSISSIPPI

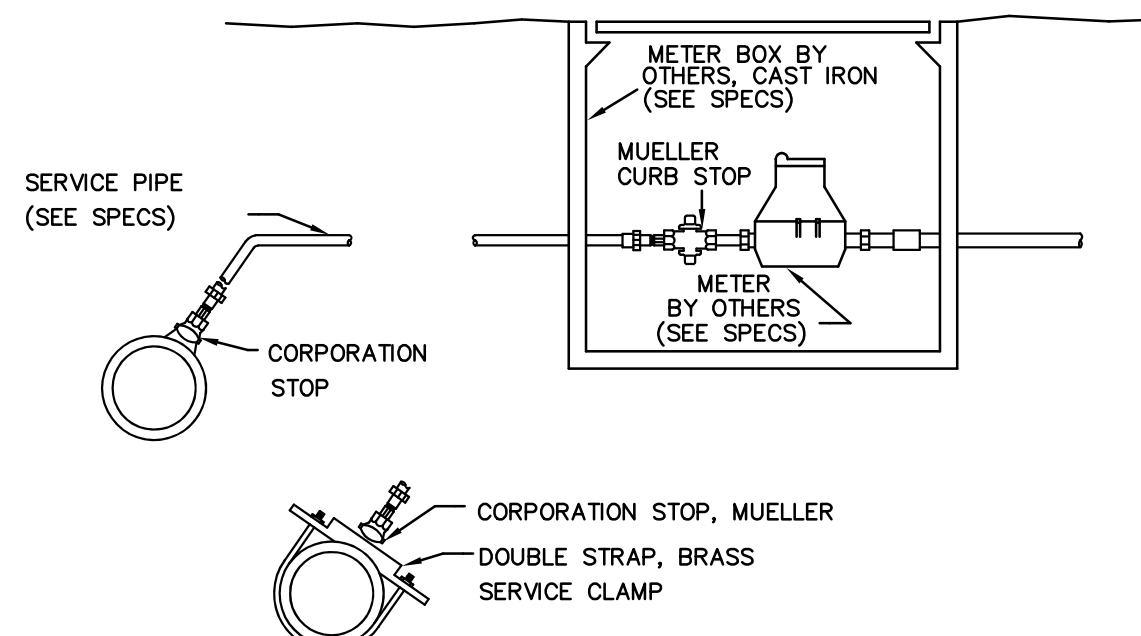
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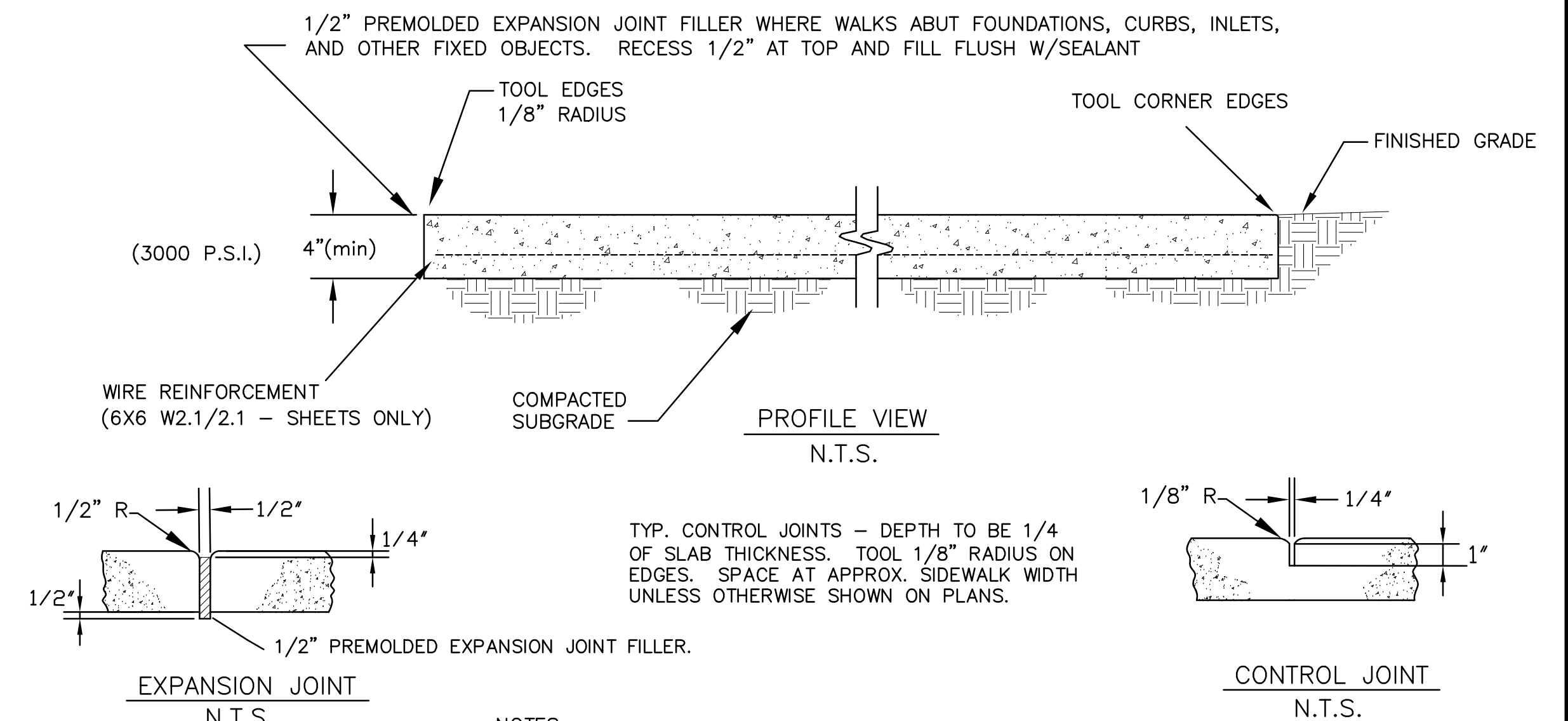
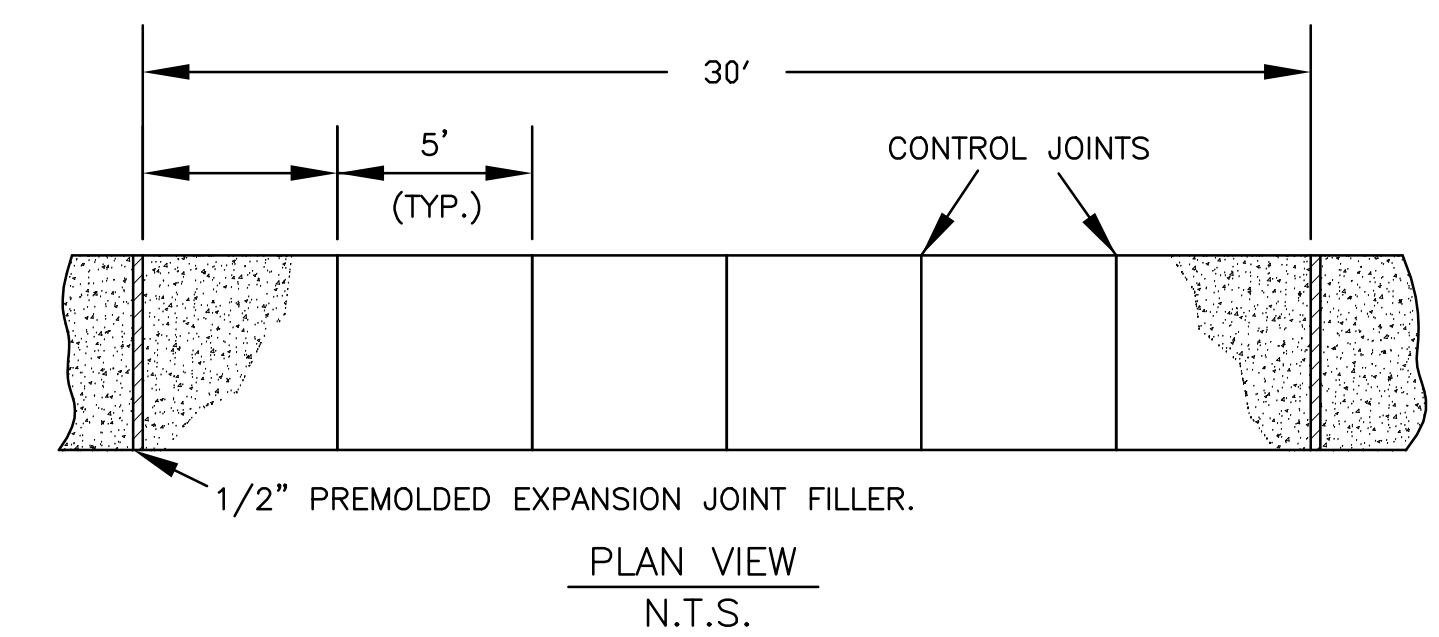
1
5.0 SANITARY SEWER CLEAN-OUT (2-WAY) DETAIL
N.T.S.



- ① DEWATERING REQ'D. TO THIS LEVEL (MIN). CONTRACTOR WILL NOT BE ALLOWED TO WORK WHEN WATER LEVEL IS NOT MAINTAINED BY DEWATERING SYSTEM TO THIS ELEVATION OR LOWER.
- ② WHEN TRENCHING ACROSS EXISTING ASPHALT OR CONCRETE SURFACES, NEW ASPHALT SHOULD BE PLACED BACK AT SAME DEPTH OF EXISTING ASPHALT OR CONCRETE THICKNESS.

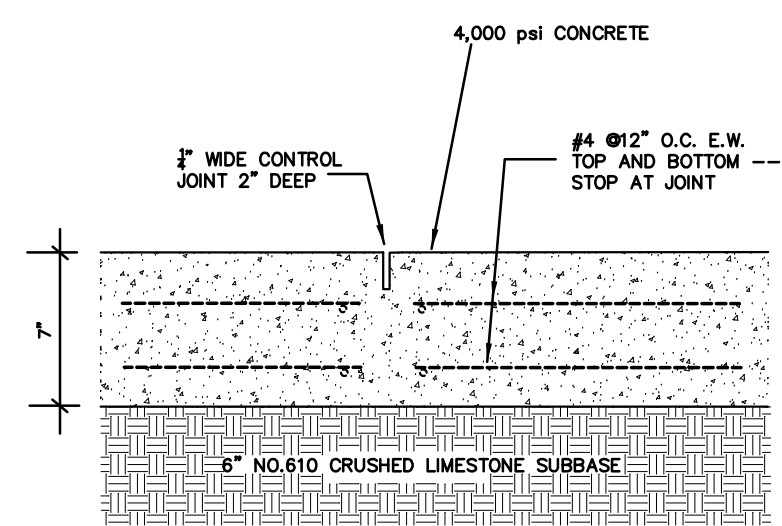


2
5.0 TYPICAL SERVICE ASSEMBLY
NOTE: SERVICES SHALL BE TYPE K COPPER WITH CORPORATION AND CURB STOPS THAT COMPLY WITH THE CITY OF JACKSON STANDARD SPECIFICATIONS. MUST BE APPROVED BY CITY



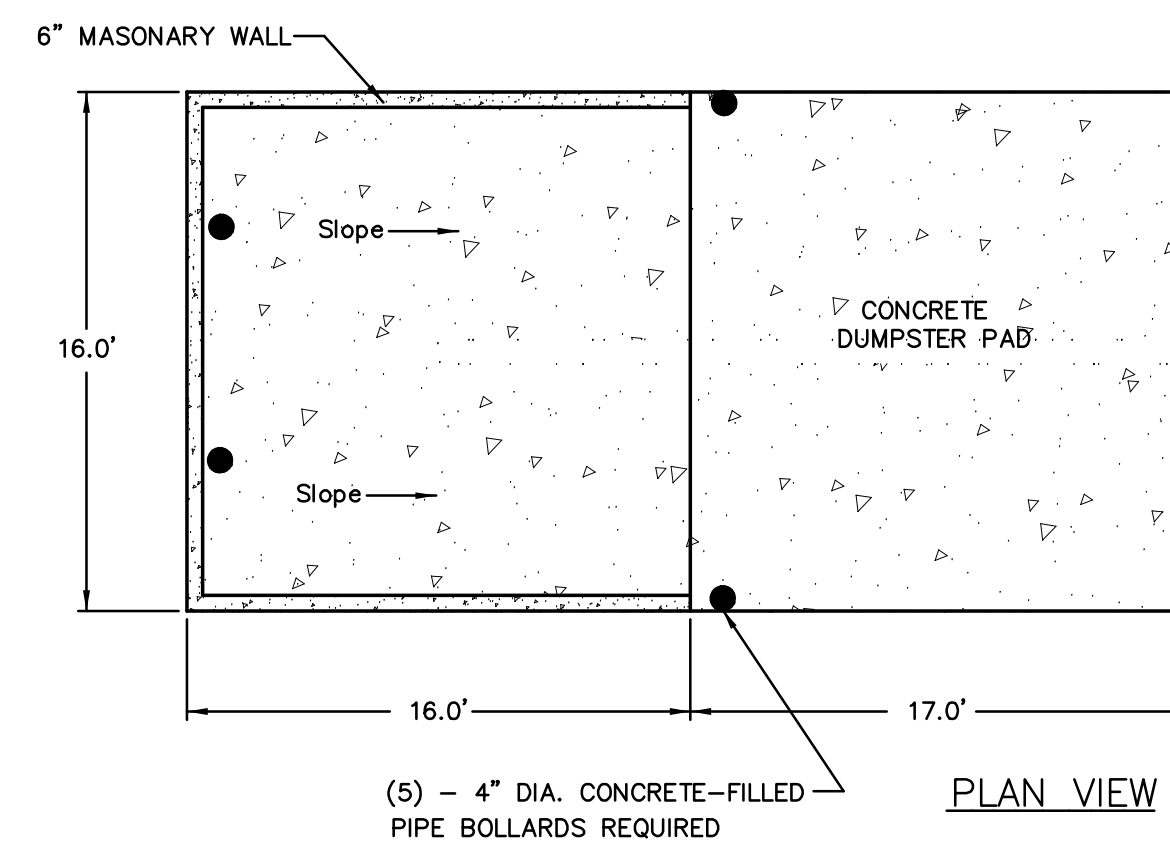
- NOTES:
- 1) CONCRETE SHALL BE 3,000 PSI MINIMUM
 - 2) 6X6 W2.1/W2.1 WIRE REINFORCEMENT REQUIRED (SHEETS ONLY)
 - 3) PROVIDE BROOM FINISH TO ALL EXPOSED SURFACES
 - 4) HEAVY BROOM FINISH PERPENDICULAR TO THE DIRECTION OF TRAFFIC.

3
5.0 CONCRETE SIDEWALK SECTION DETAILS
N.T.S.



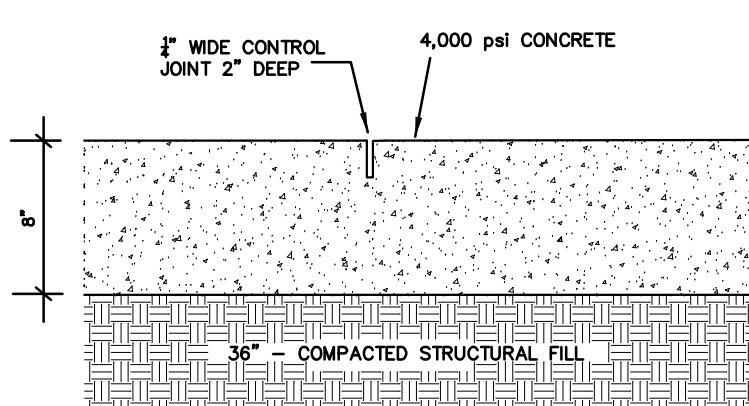
- SLAB PROFILE:
1. TOOLED CONSTRUCTION JOINTS SHOULD BE PROVIDED AT INTERVALS THAT WILL PROVIDE A SLAB SITE THAT DOES NOT EXCEED 20'X20'.
 2. EXPANSION JOINTS SHOULD ONLY BE PLACED WHERE THE PAD DIRECTLY ADJOINS A BUILDING OR OTHER FIXED STRUCTURE.
 3. PROOF ROLL SUBGRADE PRIOR TO CONCRETE PLACEMENT AND CUT REINFORCING AT ALL JOINT LOCATIONS.

9
5.0 HEAVY DUTY CONCRETE PAVEMENT DETAIL
N.T.S.



- NOTES:
1. 6 FOOT TALL CYCLONE FENCE (SCREENED) TO BE CONSTRUCTED ON TOP OF THE CONCRETE WALL.
 2. 4" DIA. CONCRETE FILLED PIPE BOLLARDS REQUIRED AS SHOWN ON THE DETAIL. TWO WITHIN ENCLOSURE AT BACK WALL AND THREE IN FRONT OF THE ENCLOSURE TO PREVENT DOORS FROM SWINGING BEYOND 90°
 3. DUMPSTER PAD GATES TO BE INSTALLED ON 6" DIA. POST WITH METAL FRAME AND WOOD SLATES OVER GATE FRAME.

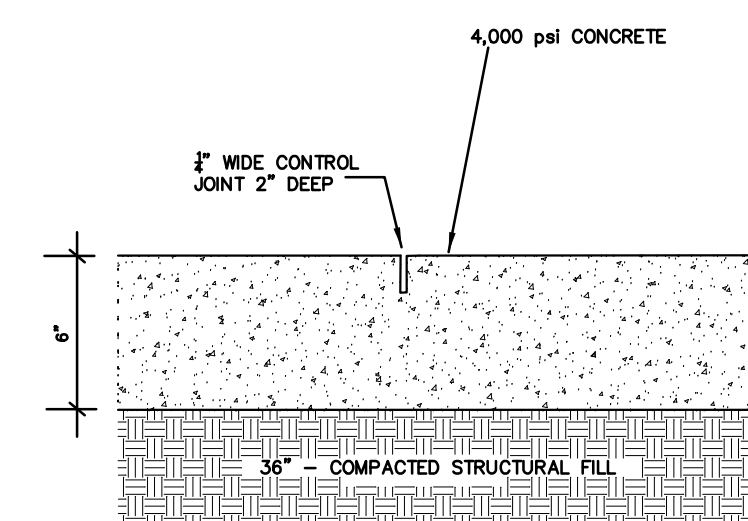
6
C5.0 DUMPSTER DETAIL
N.T.S.



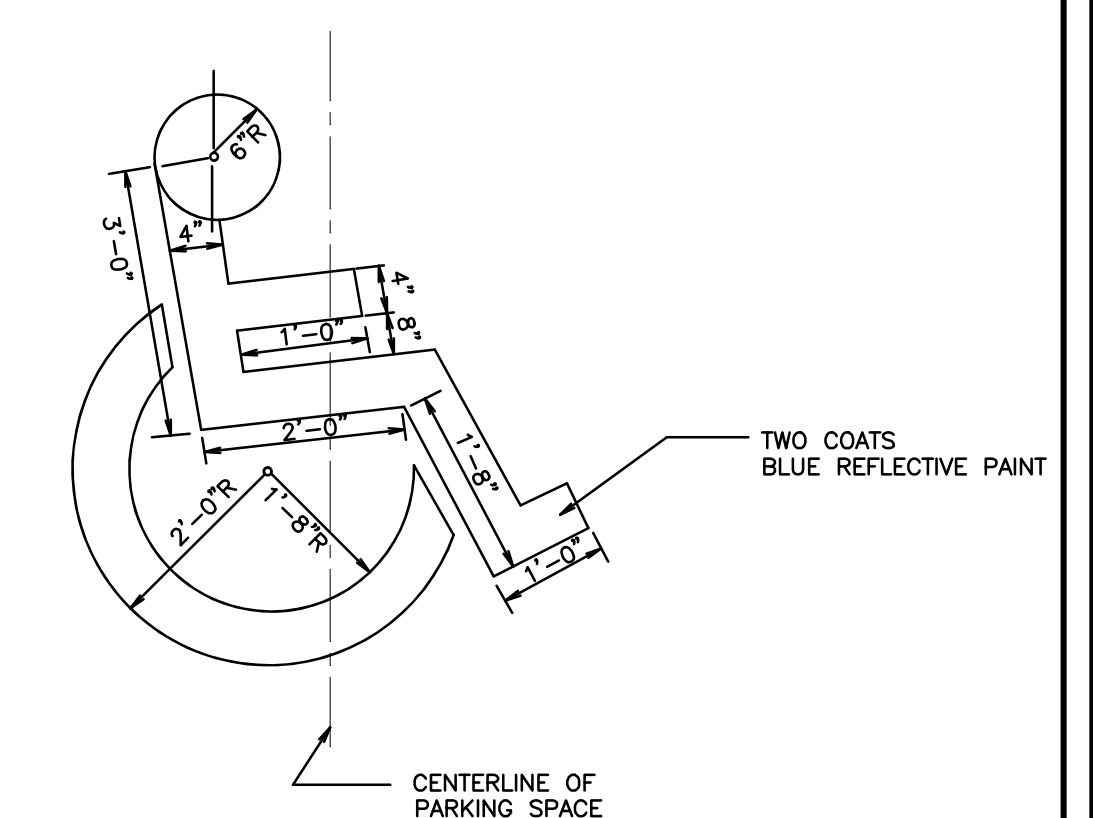
- SLAB PROFILE:
1. TOOLED CONSTRUCTION JOINTS SHOULD BE PROVIDED AS DESCRIBED IN THE GEOTECHNICAL REPORT BY BURNS COOLEY DENNIS, INC.
 2. EXPANSION JOINTS SHOULD ONLY BE PLACED WHERE THE PAD DIRECTLY ADJOINS A BUILDING OR OTHER FIXED STRUCTURE.
 3. AS SHOWN IN THE GEOTECHNICAL REPORT, THIS IS A JOINTED PLAIN (UN-REINFORCED) PCC PAVEMENT.
 4. THE FIRST 12" SHALL BE LIME TREATED (6% BY WEIGHT)
 5. SEE GEOTECHNICAL REPORT BY LADNER TESTING, INC. DATED NOV. 20, 2019 FOR ALL PAVEMENT RECOMMENDATIONS.

8
C5.0 HEAVY DUTY CONCRETE (DUMPSTER AREA)
N.T.S.

- SLAB PROFILE:
1. TOOLED CONSTRUCTION JOINTS SHOULD BE PROVIDED AT INTERVALS THAT WILL PROVIDE A SLAB SITE THAT DOES NOT EXCEED 20'X20'.
 2. EXPANSION JOINTS SHOULD ONLY BE PLACED WHERE THE PAD DIRECTLY ADJOINS A BUILDING OR OTHER FIXED STRUCTURE.
 3. PROOF ROLL SUBGRADE PRIOR TO CONCRETE PLACEMENT AND CUT REINFORCING AT ALL JOINT LOCATIONS.
 4. AS SHOWN IN THE GEOTECHNICAL REPORT, THIS IS A JOINTED PLAIN (UN-REINFORCED) PCC PAVEMENT.
 5. THE FIRST 12" SHALL BE LIME TREATED (6% BY WEIGHT)
 6. SEE GEOTECHNICAL REPORT BY LADNER TESTING, INC. DATED NOV. 20, 2019 FOR ALL PAVEMENT RECOMMENDATIONS.



5
5.0 MEDIUM DUTY CONCRETE PAVEMENT DETAIL
N.T.S.



4
5.0 ACCESSIBILITY PARKING SYMBOL
N.T.S.

- NOTES:
1. ACCESSIBILITY SYMBOLS SHALL BE PAINTED ON PAVEMENT AT EACH ACCESSIBLE PARKING SPACE.
 2. ALL PAVEMENT MARKING INSTALLATIONS SHALL CONFORM TO THE 1988 MUTCD AND ALL SUBSEQUENT REVISIONS.
 3. ALL ACCESSIBLE PARKING SPACES SHALL BE MARKED WITH AN ACCESSIBILITY PARKING SPACE SIGN.
 4. BLUE PAINT TO BE PAINTED FOR ALL ACCESSIBLE MARKINGS.

Date:	3/11/20
By:	CLB
Revisions:	1 Update Concrete Details
No.	

BAIRD ENGINEERING, INC.
506 Jefferson Street, Clinton, MS 39066
Phone: (601) 925-3015

Project No.:	# 4317
Date:	02/15/2021
Scale:	N.T.S.
Designed By:	CLB
Reviewed By:	CLB

SITE DETAILS
STORAGE CITY OF CLINTON
CLINTON, MISSISSIPPI

SHEET
C 5.0



GERMANTOWN PARK
GLUCKSTADT, MS

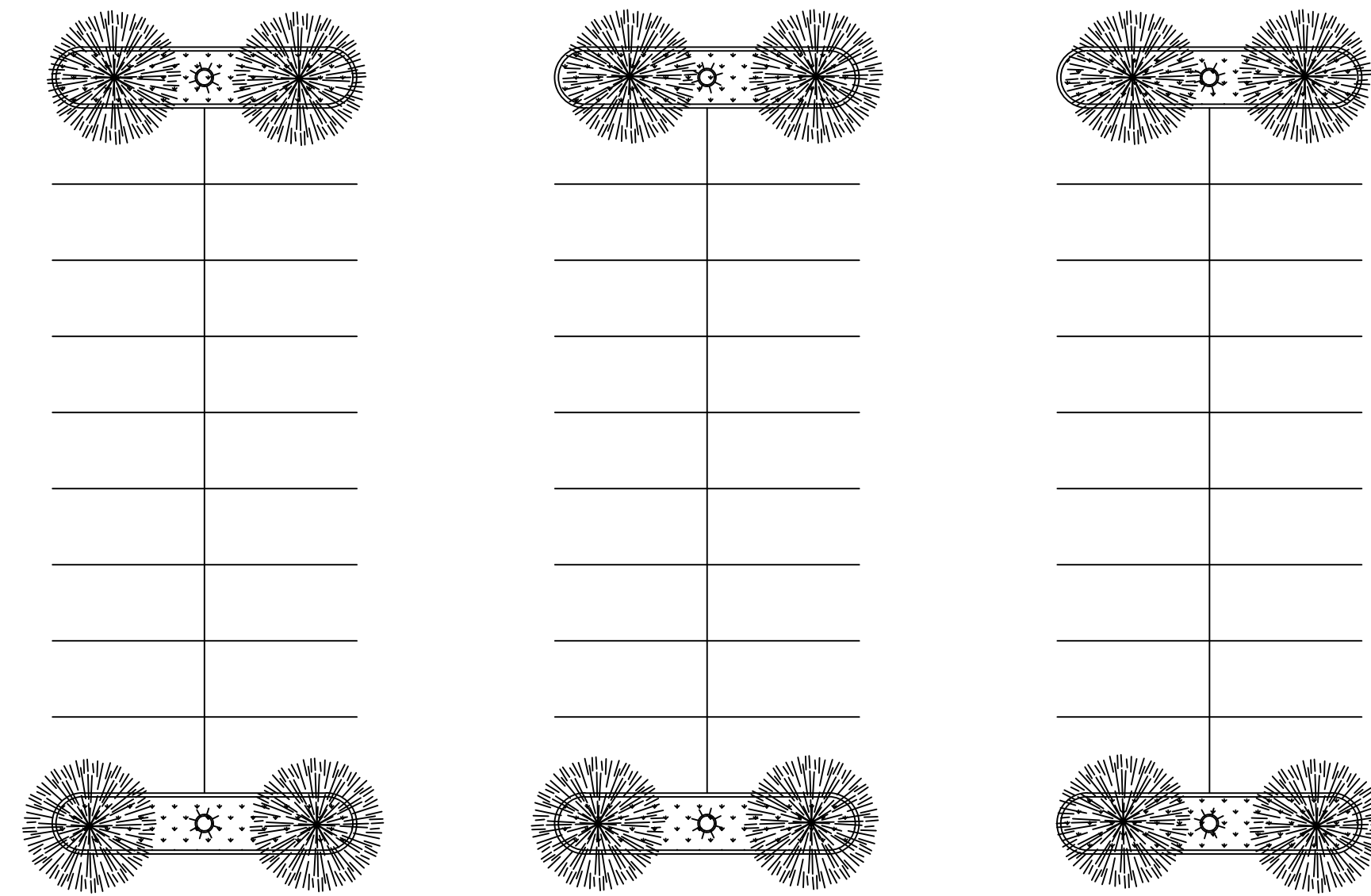
GLUCKSTADT WAY

15' LANDSCAPE BUFFER
20' UTILITY EASEMENT

FREESTANDING
DRIVE THRU KIOSK
240 SF

35' SIDE SETBACK

15' LANDSCAPE BUFFER



BLDG 01
12,000 SF

BLDG 02
12,000 SF

5' REAR SETBACK

LANDSCAPE PLAN

WILLOW OAK

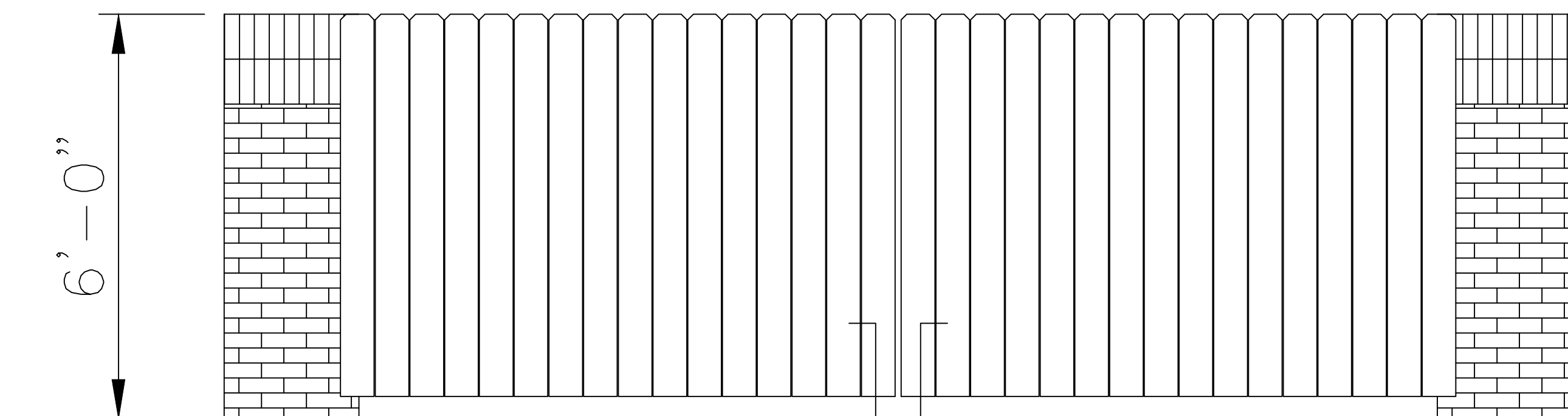
NATCHEZ CRAPE MYRTLE,
"LAGERSTROEMIA INDICA X FAURIEI"
7' HTH., f-1" S.T., 3
TRUNKS MIN.

PARSON JUNIPER, JUNIPERUS CHINENSIS
'PARSONII', 3 GAL. @ 3'-6" O.C.

SOUTHERN INDICA AZALEAS,
RHODODENDRON INDICA
3 GAL. @ 3'-6" O.C.

POMPOUS GRASS

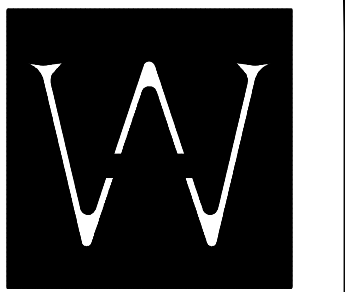
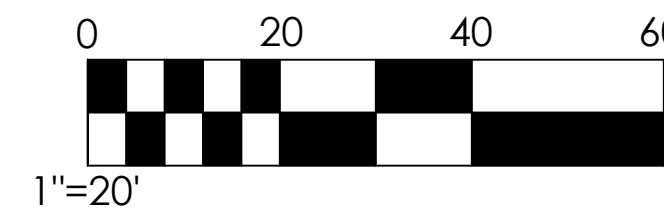
6'-0"



DUMPSTER ENCLOSURE



NORTH



WOOLDRIDGE & ASSOCIATES
484 CHURCH RD. SUITE 700
MADISON, MS 39110
601-209-8865
WOOLDRIDGEARCHITECTUREFIRM.COM

Germantown Park
Church Road
Gluckstadt, Mississippi

A0.1