

**City of Gluckstadt**  
**Application for Variance**

Subject Property Address: 188 Church Rd Madison MS 39110  
Parcel #: 082E-21 -004/02.02 (Owner: SAMPLE SAMUEL D JR ETUX MARY H)

Owner: Sam and Mary Sample Applicant: (Same)  
Address: 720 Huntington Cove Address: (Same)  
Madison MS 39110

Phone #: 601-927-8684 Phone #: (Same)  
E-Mail: Sam.Sample78@yahoo.com E-Mail: (Same)

Current Zoning District: R1  
Acreage of Property (if applicable): 1.48AC  
Current Use of Property: None / Unusable Vacant Lot

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**Requirements of Applicant:**

1. Letter demonstrating how the requested Variance will comply with or otherwise satisfy the requirements for granting a Variance pursuant to Section 804.01 of the Zoning Ordinance.
2. Copy of written legal description.
3. Additional items may be requested depending on the nature and status of the proposed development or property.
4. \$ 250.00 fee required for processing

**Requirements for Granting Variances: (Section 804.01, Zoning Ordinance)**

- (a). Applicant shall demonstrate that special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district.
- (b). Applicant shall demonstrate that the literal interpretation of this Ordinance would deprive the applicant's rights commonly enjoyed by other properties in the same district under the terms of this Ordinance.
- (c). Applicant shall demonstrate that granting the Variance will not confer on the applicant any special privilege that is denied by this Ordinance to other lands, structures, or buildings in the same zoning district.

Applicant shall be present at the Planning and Zoning Commission meeting and Mayor and Board of Alderman meeting. Documents shall be submitted thirty (30) days prior to the Planning and Zoning Commission meeting.

# Sam Sample, Jr

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720 Huntington Cove, Madison, MS, 39110 | 601.927.8684 | Sam.Sample78@yahoo.com

**July 27, 2022**

Mr. Jeff Williamson  
City Building Official, City of Gluckstadt  
343 Distribution Dr  
Madison, MS 39110

**Dear Mr. Jeff Williamson:**

I am writing this letter in hopes of a potential variance for our vacant lot located at 188 Church Rd, Madison, MS 39110 (Parcel #082E-21 -004/02.02). The current zoning for our lot is R1; however, our lot is only 1.48 acres and doesn't meet the minimum 2-acre requirement. This lot is unusable in its current form and sits now as a vacant lot.

We are asking for this variance so our family may build a home on our lot and be part of the growing Gluckstadt community. In preparation for this request, we have submitted our setbacks that conform with current R1 guidelines and have a permit from the MS Dept of Health for an on-site wastewater disposal system.

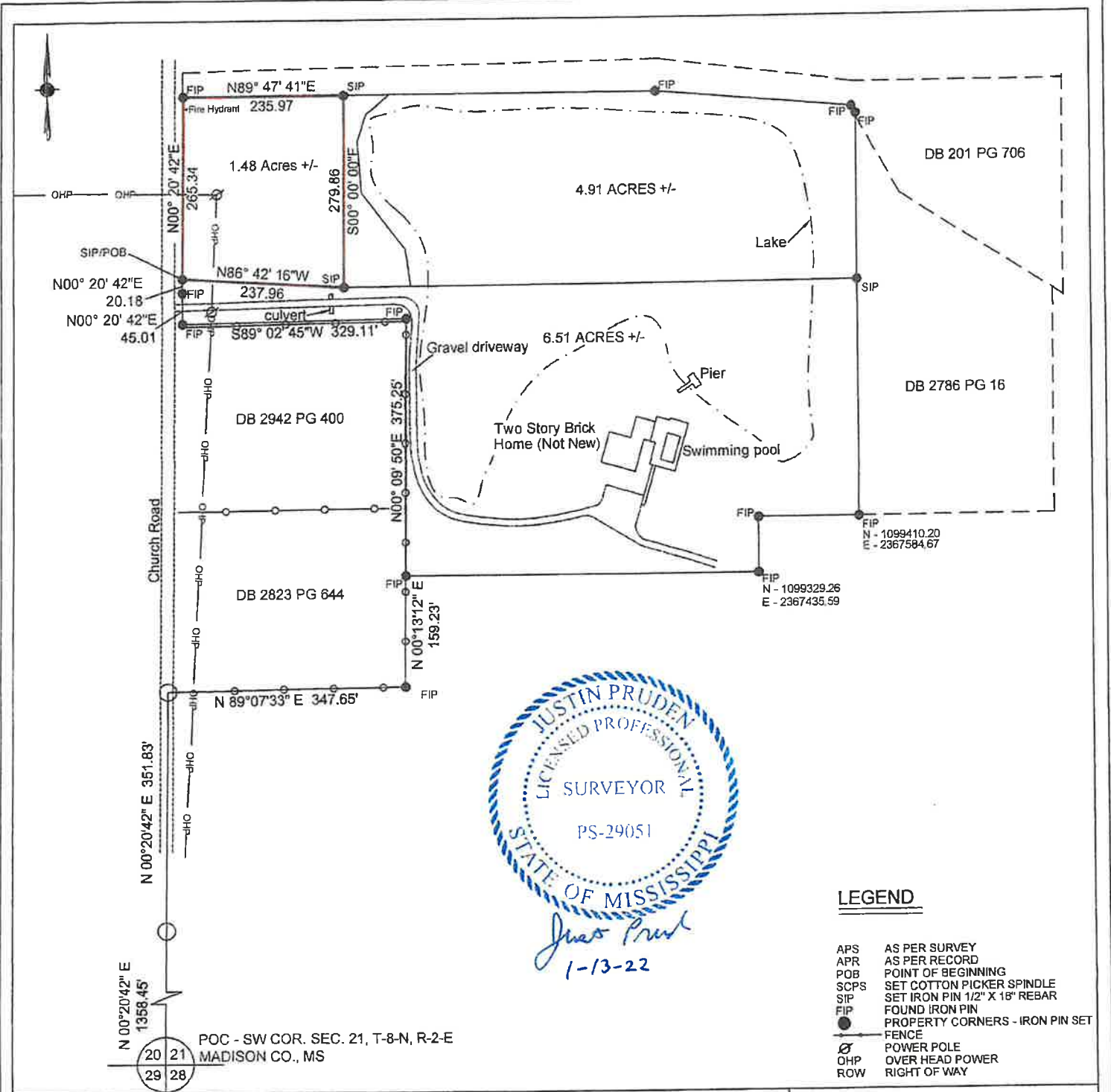
By granting us this variance, we would be able to construct a house on our lot for its original intended purpose. This would be in keeping the unity of the area already developed in place while not have a vacant lot near the heart of Gluckstadt.

Thank you for your time and consideration.

**Sincerely,**

A handwritten signature in black ink, appearing to read "Sam Sample, Jr". The signature is stylized with large, overlapping loops.

**Sam Sample Jr.**



**LEGEND**

- APS AS PER SURVEY
- APR AS PER RECORD
- POB POINT OF BEGINNING
- SCPS SET COTTON PICKER SPINDLE
- SIP SET IRON PIN 1/2" X 18" REBAR
- FIP FOUND IRON PIN
- PROPERTY CORNERS - IRON PIN SET
- FENCE
- ⊕ POWER POLE
- OHP OVER HEAD POWER
- ROW RIGHT OF WAY

POC - SW COR. SEC. 21, T-8-N, R-2-E  
MADISON CO., MS

JOB NUMBER: 19-2019-603 SPC - MS WEST NAD83 DERIVED BY: GPS	SURVEY PLAT PREPARED FOR : SAM SAMPLE		WILLIAMS, CLARK & MORRISON, INC. CONSULTING ENGINEERS & SURVEYORS (662) 746-1863 FAX (662) 716-7393 P.O. BOX 567 213 SOUTH MAIN STREET YAZOO CITY, MISSISSIPPI
	SECTION 21 TOWNSHIP 8 NORTH RANGE 2 EAST		
	MADISON COUNTY, MISSISSIPPI		
	PARTY CHIEF: CHUCK MCGINTY	DRAWN BY: ADDISON RAY DATE: 01/13/2022	
CLASS 'B' SURVEY BEARING BY GPS FIELD WORK: 01/05/22	I hereby certify that this survey meets the standards for a Class 'C' survey found in the Standards of Practice For Surveying, Appendix 'A' <i>Justin Pruden</i>		THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT THE EXPRESS RECTIFICATIONS BY THE SURVEYOR NAMING SAID PERSON, PERSONS, OR ENTITY.
 1" = 200'			

**+/- 1.29 ACRES**  
 MADISON, MS 39110  
 PROJECT 106-21111  
 SCALE: 1"=10'-0"

**LEGEND**

SWEST GRADE	ELEV 46.4' @
SLAB F.I.T.	FIN FLOOR ELEV 100.0'
GRADING PATTERNS	SPALLE
SMALL FLOODING	SPALLE
PRICE CONTROL	SPALLE
EROSION CONTROL	SPALLE
PROPERTY LINE	SPALLE
UTILITY EXAMINER'S MARKINGS	SPALLE
REFERENCE GRADES	SPALLE
EXISTING SIDE PROPERTY LINE	SPALLE
PROPOSED SIDE PROPERTY LINE	SPALLE
PROPOSED FRONT PROPERTY LINE	SPALLE
PROPOSED REAR PROPERTY LINE	SPALLE
PROPOSED SIDE PROPERTY LINE	SPALLE

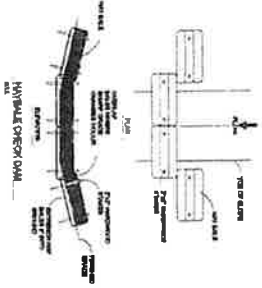
**GENERAL NOTES**

EROSION CONTROL MEASURES AS PRESCRIBED BY THE CITY SHALL BE REQUIRED TO PROTECT ALL DOWN HILL PROPERTIES PRIOR TO SET BACK INSPECTION

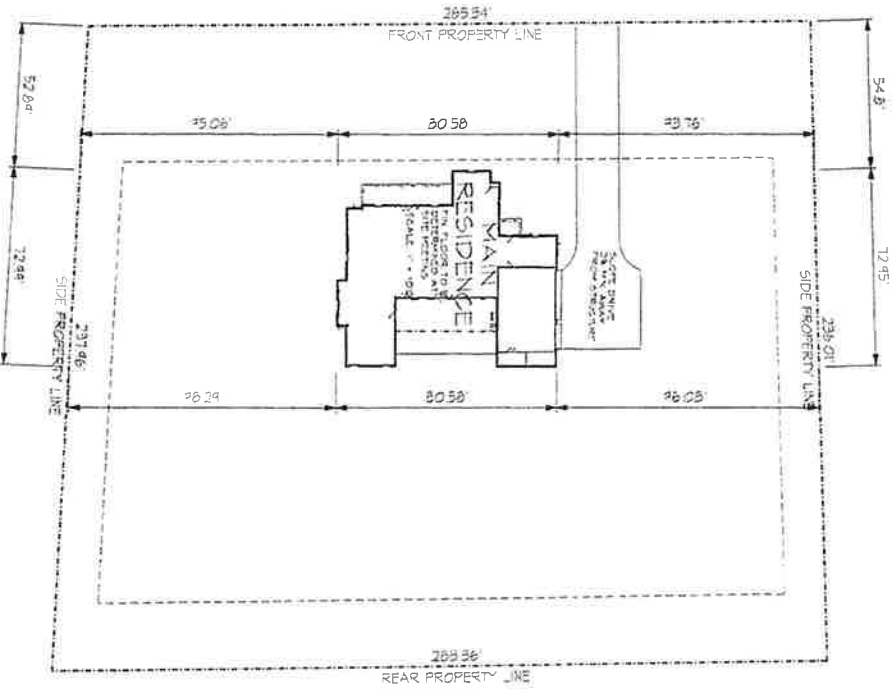
SMALLS AND BRUSH REQUIRED TO PREVENT EXCESSIVE DRAINAGE (RAIN-OFF) ONTO ADJACENT DOWNHILL LOTS

ORANGE PLASTIC TREE/VEGETATION FENCING MUST BE IN PLACE BEFORE ANY CONSTRUCTION IS TO TAKE PLACE

SIDEPINAL PER SUBDIVISION RECONVEYANCE

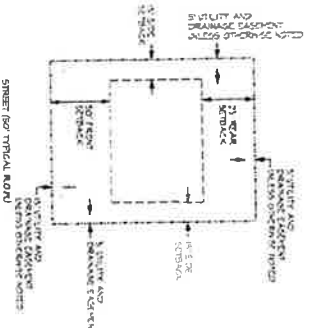


**Church Road**



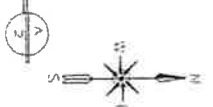
**TYPICAL LOT DETAIL**

SHOWN FOR TYPICAL ROAD  
 NOT TO SCALE



**Site Plan**

SCALE: 1" = 10'-0"



DESCRIPTION	Site Plan
SHEET NO.	2
PROJECT NO.	106-21111
SCALE	1" = 10'-0"
DATE	MAY 28, 2022

**Lot# - Land in Gluckstad**  
**MADISON COUNTY, MS 39110**  
**Owner: Sam Sample**

**PROJECT DATA**

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**ADDRESS**  
 106-21111  
 MADISON COUNTY, MS 39110



**AFFP**  
**Gluckstadt Zoning Notice - Sample DV 8-23-22**

**AFFIDAVIT OF PUBLICATION**

STATE OF MS            )  
                                  :SS.  
County of Madison    )

Michael Simmons being first duly sworn, says:

That he is the Publication Representative of Madison County Journal, a weekly newspaper of general circulation, printed and published in Ridgeland, Madison county, Mississippi; that the publication, a copy of which is hereto attached, was published in the said newspaper on

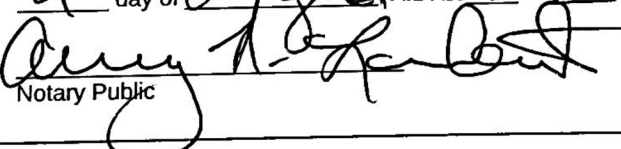
**PUBLICATION DATES:**  
4 Aug 2022

That said newspaper was regularly issued and circulated on those dates.

SIGNED:  
  
\_\_\_\_\_  
Publication Representative

**VERIFICATION**

Subscribed to and sworn to me on this

14 day of August A.D. 2022  
  
Notary Public

**NOTICE OF ZONING PUBLIC HEARING**

NOTICE IS HEREBY GIVEN TO THOSE PARTIES IN INTEREST that there will be a public hearing on Tuesday, Aug. 23, 2022, at 6:00 p.m., before the Gluckstadt Planning & Zoning Commission, at the Gluckstadt City Hall, 343 Distribution Drive, Gluckstadt, MS 39110, for the purpose of determining whether or not a dimensional variance shall be allowed on certain property in a R-1, Residential Estate District, zone within the City of Gluckstadt, under Section 804 of the City's Zoning Ordinance, for the following-described parcel(s): Madison County Parcel No. 082E-21-004/02.02, consisting of 1.48 acres, located at 188 Church Road in Gluckstadt.

The Public Hearing in relation thereto shall provide parties in interest, and citizens, an opportunity to be heard. A copy of the dimensional variance application shall be available at City Hall for inspection by the public.

/s/ Lindsay Kellum  
City Clerk's Signature

Publish: August 4, 2022

